

**Local Planning Appeal Tribunal**  
Tribunal d'appel de l'aménagement  
local



**ISSUE DATE:** March 07, 2019

**CASE NO(S):** PL180178

The Ontario Municipal Board (the “OMB”) is continued under the name Local Planning Appeal Tribunal (the “Tribunal”), and any reference to the Ontario Municipal Board or Board in any publication of the Tribunal is deemed to be a reference to the Tribunal.

**PROCEEDING COMMENCED UNDER** subsection 41(12) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended

Referred by: Eileen Costello  
Subject: Site Plan  
Property Address/Description: 15-19 Centre Street  
Municipality: Town of Orangeville  
LPAT Case No.: PL180178  
LPAT File No.: PL180178  
LPAT Case Name: 2500149 Ontario Inc. v. Orangeville (Town)

**PROCEEDING COMMENCED UNDER** subsection 34(11) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended

Applicant and Appellant: 2500149 Ontario Inc.  
Subject: Application to amend Zoning By-law No. 22-90 -  
Refusal or neglect of the Township of Orangeville to  
make a decision  
Existing Zoning: Residential Third Density (R3) & Multiple Residential  
Medium Density (RM1)  
Proposed Zoning: Multiple Residential Medium Density (RM1) Special  
Provision (24.210) Holding (H) Zone  
Purpose: To permit stacked townhouse dwellings  
Property Address/Description: 15-19 Centre Street  
Municipality: Town of Orangeville  
Municipality File No.: Z1/17  
LPAT Case No.: PL180178  
LPAT File No.: PL180228

**Heard:** November 28, 2018 by telephone conference call

**APPEARANCES:****Parties****Counsel**

2500149 Ontario Inc.

E. Costello

Town of Orangeville

B. Ketcheson

**DECISION DELIVERED BY HUGH S. WILKINS AND ORDER OF THE TRIBUNAL**

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[1] This proceeding relates to appeals brought by 2500149 Ontario Inc. (“Appellant”) regarding a proposed development on lands located at 15-19 Centre Street (“subject lands”) in Orangeville. The Appellant proposes building a three-storey development containing 24 stacked townhouse dwellings with 36 parking spaces. Presently, there is a residential dwelling on each of the three existing lots on the subject lands, one of which is listed as a heritage building in the Town of Orangeville (“Town”) Heritage Register. The Appellant proposes that these buildings be demolished.

[2] To facilitate the proposed development, the Appellant filed applications to amend the Town’s Zoning By-law No. 22-90 (“Zoning By-law”) and for approval of a Site Plan. It subsequently appealed the Town’s failure or neglect to render decisions on these applications within the statutory timeframes.

[3] In August 2018, the Appellant informed the Tribunal that the Parties had reached a settlement of the appeals. On November 28, 2018, the Tribunal convened a settlement hearing by telephone conference call at which it heard opinion evidence on behalf of the Appellant in support of the proposed settlement. At the settlement conference, the Parties requested that the proposed amendment to the Zoning By-law (“Zoning By-law Amendment”) and Site Plan be approved subject to the finalization of a site plan agreement. On January 28, 2019, the Appellant informed the Tribunal that a site plan agreement had been finalized and executed.

## EVIDENCE

[4] Alan Young provided opinion evidence in the area of land use planning on behalf of the Appellant. He stated that the subject property is designated as “Residential” and “Open Space Conservation” in Schedule A (Land Use Plan) and as “Medium Density Residential” in Schedule C (Residential Density Plan) of the Town’s Official Plan. He said the subject lands are bounded to the north by the Orangeville Brampton Railway line, which travels along Mill Creek on the northern edge of the subject lands. He said other neighbouring uses include a commercial plaza to the west, commercial development to the north beyond the railway tracks, apartment buildings to the south and east, as well as single detached dwellings to the south.

[5] Mr. Young stated that the subject lands are currently zoned as “Residential Density (R3)” for the most part with “Multiple Residential Medium Density (RM1)” zoning on a strip along the southern edge of the subject lands. He said the Zoning By-law Amendment would rezone the subject lands from R3 and RM1 to “RM1(specific)” and “RM1(F)”. He said the site-specific RM1(specific) zoning would require:

- a. a reduced south side yard of 3.0 metres (“m”);
- b. an increased north side yard of 30 m from the railway corridor;
- c. 1.5 parking spaces per dwelling unit;
- d. an encroachment into the required front yard of up to 1.5 m by balconies and related structures; and
- e. a maximum of 24 units.

He said the RM1(F) zoning would apply to hazard lands associated with Mill Creek at the northern end of the subject lands, which are designated Open Space Conservation in the Town’s Official Plan.

[6] Mr. Young stated that since the filing of the appeal, the proposed Zoning By-law Amendment has been revised to better delineate the regulatory floodplain and meander belt/erosion hazard zone, introduce a truck turning bay next to a proposed waste storage enclosure, modify architectural elevations, and modify fencing and waste storage details. With these modifications, Mr. Young stated that the Town's Council approved the Zoning By-law Amendment in August 2018 (subsequent to the filing of the appeal).

[7] Mr. Young stated that parking would be located along the north side of the subject lands to ensure an appropriate distance between the railway tracks and creek and the proposed building. He stated that floodplain studies have been conducted and reviewed by Credit Valley Conservation, which has indicated that it is satisfied with the proposed setbacks. Mr. Young stated that the Appellant has had a transportation study conducted regarding the proposed development, which found that the proposed parking is sufficient.

[8] Mr. Young stated that the dwelling located at 17 Centre Street is on the Town's Heritage Register as a non-designated property. He said a demolition application was considered by Heritage Orangeville, which determined that the dwelling does not merit saving and that none of its features need to be preserved.

[9] Regarding the proposed Site Plan, Mr. Young described the proposed parking, tree planting, landscaping and waste storage facilities for the site and minor changes that have been proposed to address concerns raised by the Town addressing sidewalks, drainage, and signage.

[10] Mr. Young opined that the proposed Zoning By-law Amendment and Site Plan are consistent with the Provincial Policy Statement, 2014 ("PPS") and conform to the Growth Plan for the Greater Golden Horseshoe, 2017 ("Growth Plan"), the County of Dufferin Official Plan ("County's Official Plan") and the Town's Official Plan. With respect to consistency with the PPS, he stated that the subject lands are located within

a settlement area identified for growth and development. He said the proposed development will permit intensification in an efficient manner while preserving the low-rise built form of the area. He said existing infrastructure and services are available and the subject lands are close to public transit. He noted that although the dwelling at 17 Centre Street is on the Town's Heritage Register, it has been found not to be a significant resource within the meaning of that term in the PPS and is not subject to the conservation policies in either the PPS or the County's Official Plan.

[11] Mr. Young stated that the subject lands lie within delineated built-up area under the Growth Plan and are served by public transit, schools, recreational facilities and other public services.

[12] Mr. Young stated that the subject lands are designated as part of the Urban Settlement Area in the County's Official Plan, which functions as a center for growth and development. He opined that the subject lands are underutilized and that the proposed development meets the criteria for intensification and community design under the County's Official Plan. He opined that the proposed landscaping, built form, height and other attributes are in keeping with the character of the area. Referring to a noise and vibration study submitted by the Appellant, he further opined that no mitigation measures are required to address railway noise at the subject lands.

[13] Regarding conformity with the Town's Official Plan, Mr. Young stated that the subject lands are within an area of medium density residential development, are a short walk to amenities and schools, and are amenable to active transportation. He also stated that the proposed development is within the maximum density permitted under the Official Plan. He said it is compatible with the height of other buildings in the area, will assist the Town in achieving its intensification targets and satisfies the Official Plan's criteria for intensification. He opined that it also satisfies the heritage, floodplain and railway noise requirements in the Official Plan. He stated that the proposed stacked townhouses and parking are outside the regulatory floodplain and meander belt/erosion hazard zones of Mill Creek.

[14] Regarding the proposed Site Plan, Mr. Young opined that it is consistent with the PPS and conforms to the Growth Plan, County's Official Plan and the Town's Official Plan. He stated that a site plan agreement is being finalized by the Parties and they have agreed that final approval of the Site Plan should be contingent on the satisfaction of those conditions.

[15] The Parties requested that the Tribunal's Order and approval of both the proposed Zoning By-law Amendment and the Site Plan be withheld until a site plan agreement is finalized. Subsequent to the settlement hearing, the Tribunal received confirmation on January 28, 2019 that the site plan agreement had been finalized and executed.

[16] The Town stated that it supports the proposed settlement and requests the Tribunal's approval of the proposed Zoning By-law Amendment and Site Plan.

## **FINDINGS**

[17] Based on the uncontradicted opinion evidence of Mr. Young, the Tribunal finds that the proposed Zoning By-law Amendment and Site Plan are consistent with the PPS and conform with the Growth Plan, the County's Official Plan and the Town's Official Plan. The Tribunal finds that the proposed Zoning By-law Amendment and Site Plan will facilitate appropriate intensification that meets the requirements in the PPS, Growth Plan, County's Official Plan and the Town's Official Plan. The proposed Zoning By-law Amendment and Site Plan will facilitate efficient development that is compatible with the existing character of the area. The Tribunal notes that existing municipal services, public transportation and amenities are available and that the proposed development will be amenable to active transportation. Based on the evidence before it, the Tribunal finds that no significant heritage resources will be affected by the proposed Zoning By-law Amendment and Site Plan and that floodplain, parking, and noise concerns have been addressed. The Tribunal has had regard to the matters of provincial interest in s. 2 of the *Planning Act* and the Site Plan requirements in s. 41 of the *Planning Act*.

[18] As noted above, subsequent to the settlement hearing, the Tribunal received confirmation from the Parties that a site plan agreement had been finalized and executed by the Parties.

## **ORDER**

[19] The Tribunal allows the appeals in part and approves the Zoning By-law Amendment as attached as Appendix 1 to this Decision and the Site Plan, Landscape Plan and Site Servicing and Grading Plan as attached as Appendices 2, 3 and 4 to this Decision.

*“Hugh S. Wilkins”*

HUGH S. WILKINS  
MEMBER

If there is an attachment referred to in this document,  
please visit [www.elto.gov.on.ca](http://www.elto.gov.on.ca) to view the attachment in PDF format.

### **Local Planning Appeal Tribunal**

A constituent tribunal of Tribunals Ontario - Environment and Land Division  
Website: [www.elto.gov.on.ca](http://www.elto.gov.on.ca) Telephone: 416-212-6349 Toll Free: 1-866-448-2248

**ATTACHMENT 1****The Corporation of the Town of Orangeville****By-law Number****A By-law to amend By-law 22-90 as amended (2500149 Ontario Inc.)  
Part of Lot 5, Registered Plan 170 (RP7R-2429; Part 1)(Z1/17)**

Whereas on March 20, 2017, Council held a public meeting with respect to Zoning By-law Amendment Application Z 1/17 to rezone the subject property from Residential Third Density (R3) Zone and Multiple Residential Medium Density (RM1) Zone to Multiple Residential Medium Density (RM1) Zone with a Special Provision (24.210); Multiple Residential Medium Density — Regional Storm (RM1)(F) Zone to permit a 24 unit 'stacked townhouse dwelling' and site-specific amendments to regulations related to required setbacks and maximum permitted dwelling units on the property;

And whereas the Local Planning Appeal Tribunal, pursuant to an Order issued on \_\_\_\_\_ in connection with Case No. PL180178 amended By-law 22-90 with respect to lands described as Part 1 on Registered Plan 7R-2429, being part of Lot 5, Registered Plan 170, Town of Orangeville;

Therefore the Local Planning Appeal Tribunal orders as follows:

1. That Zoning Map C3 is hereby amended in accordance with Schedule "A" hereto.
2. That Section 24 of By-law 22-90, as amended, is hereby further amended by adding the following text thereto:

"24.210 Notwithstanding the provisions of Section 12.1 (Permitted Uses) to the contrary, a 'Stacked Townhouse Dwelling' shall be the sole permitted use on the lands zoned Multiple Residential Medium Density (RM1) Zone, SP 24.210. For the purpose of SP 24.210, a 'Stacked Townhouse Dwelling' means a building divided vertically and horizontally into four or more dwelling units, each of which has an independent entrance from the outside.

Notwithstanding the provisions of Sections 5.17(1)(a), 12.3(5), 5.22 and 12.3(8) to the contrary, the following regulations shall apply to the lands zoned Multiple Residential Medium Density (RM1) Zone, SP 24.210:



**Interior Side Yard (minimum)**

South 3.0 metres

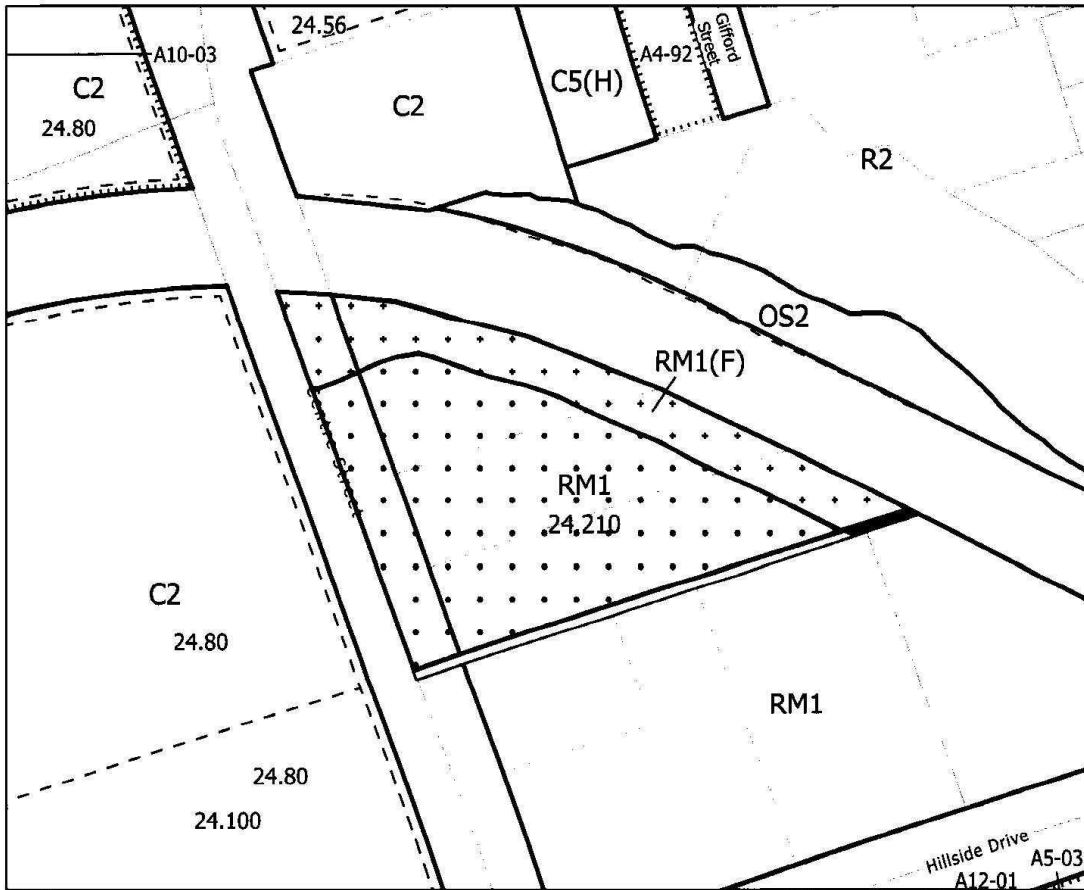
North (measured from the boundary of the  
Orangeville-Brampton Railway line) 30.0 metres

**Parking (minimum)** 1.5 parking spaces per dwelling unit

**Encroachments**

Balconies, related trellis roofing and sunken patios may encroach up to 1.5 metres into the required front yard.

**Number of Dwelling Units (maximum)** 24 dwelling units



The Corporation of The Town of Orangeville  
 Schedule 'A' Town of Orangeville Zoning By-law 22-90







Schedule "A" to by-law

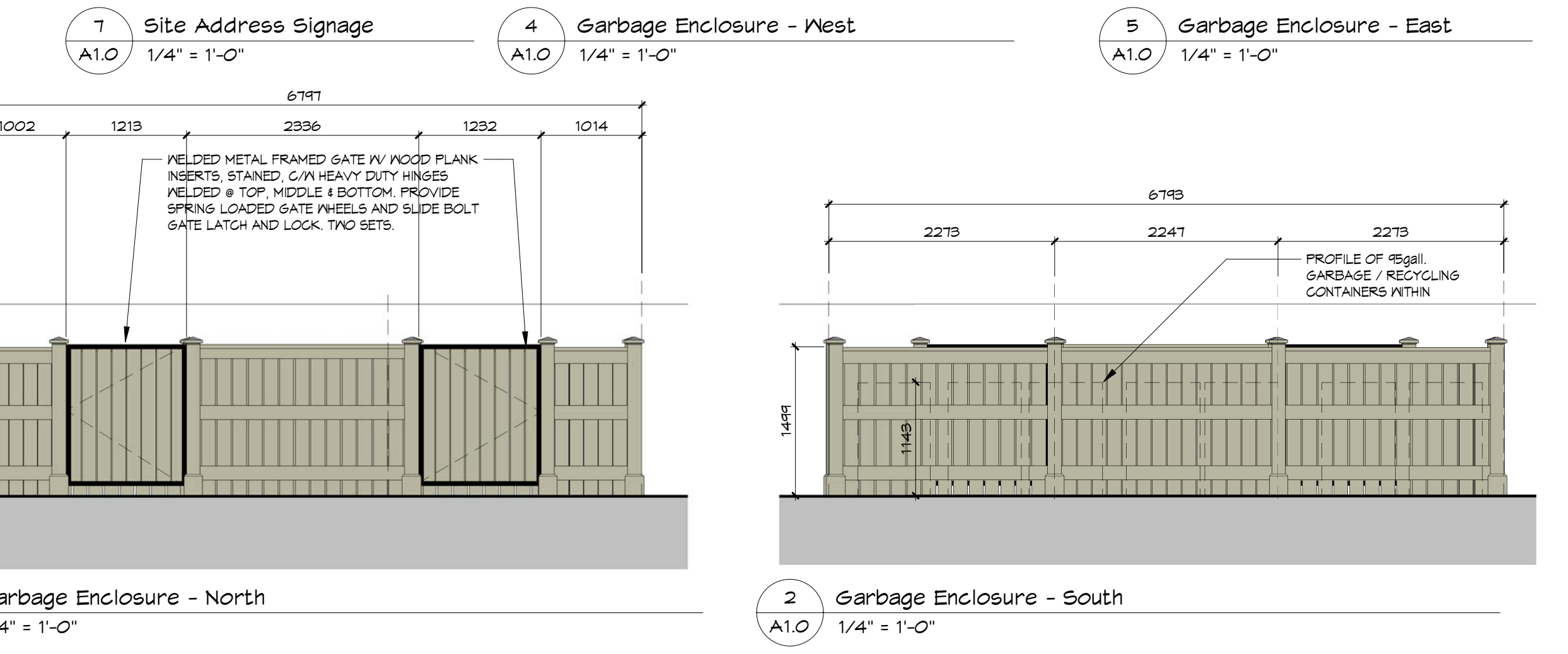
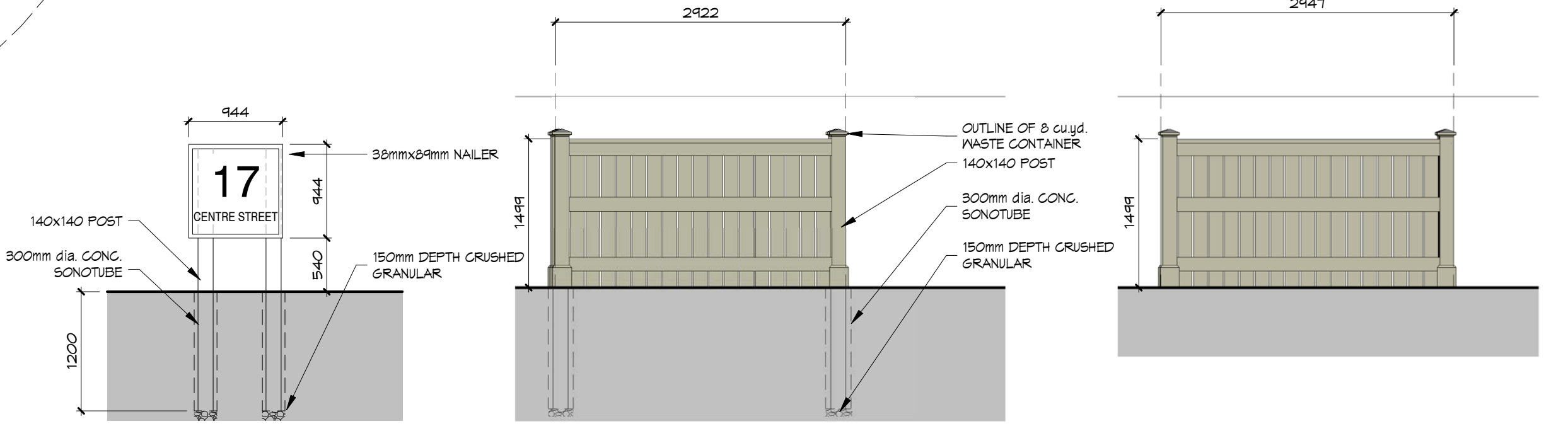
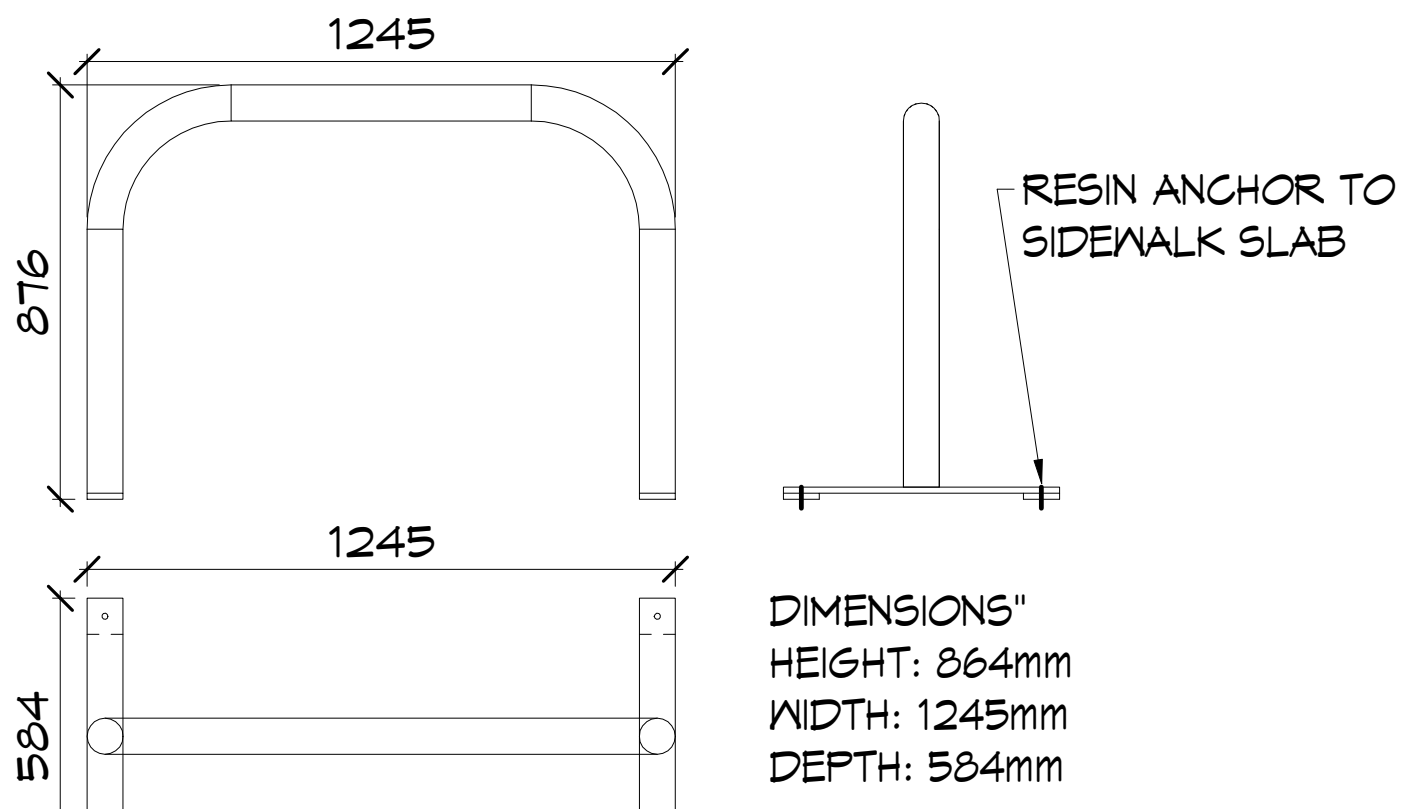
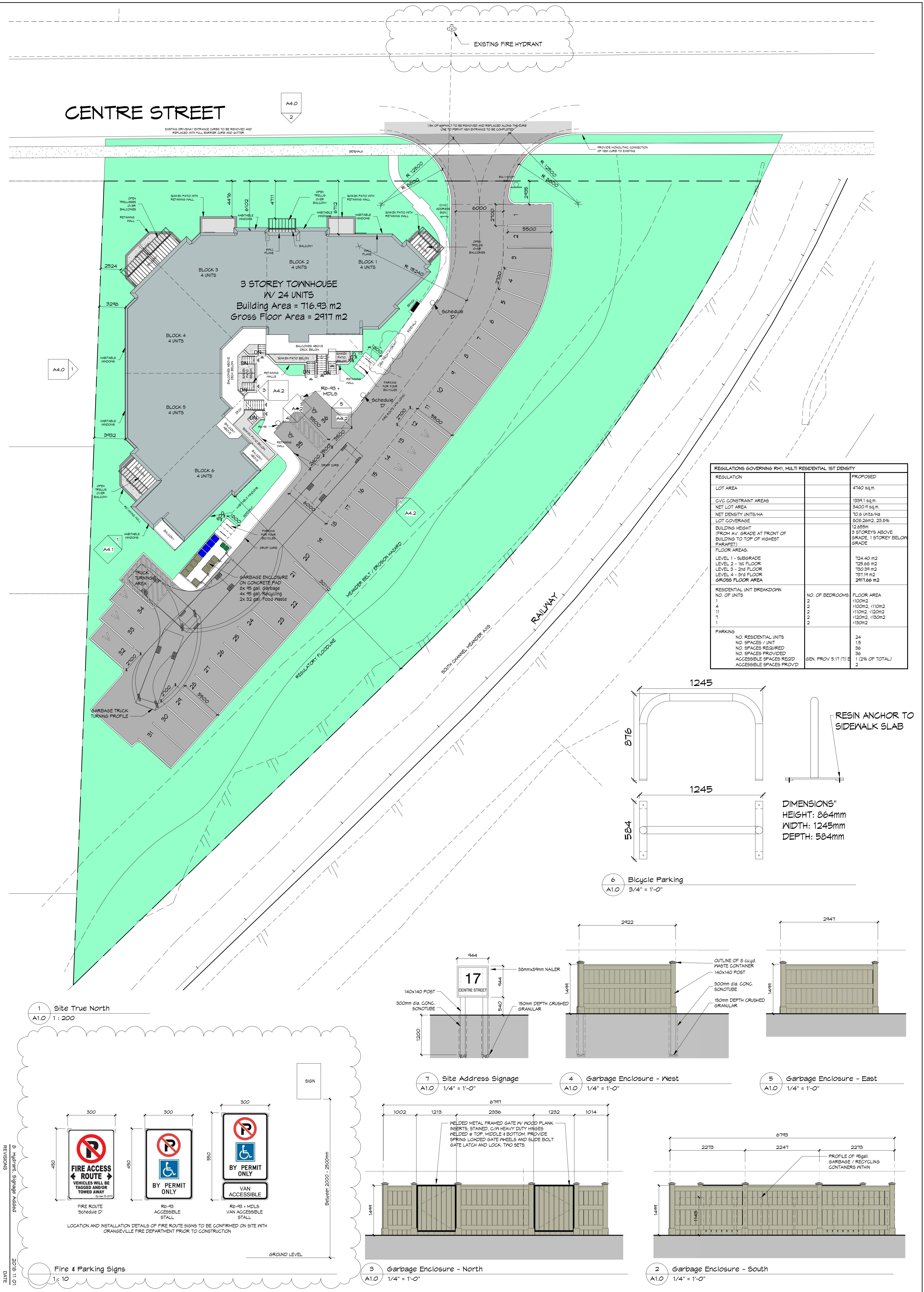
Passed the \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
 Mayor

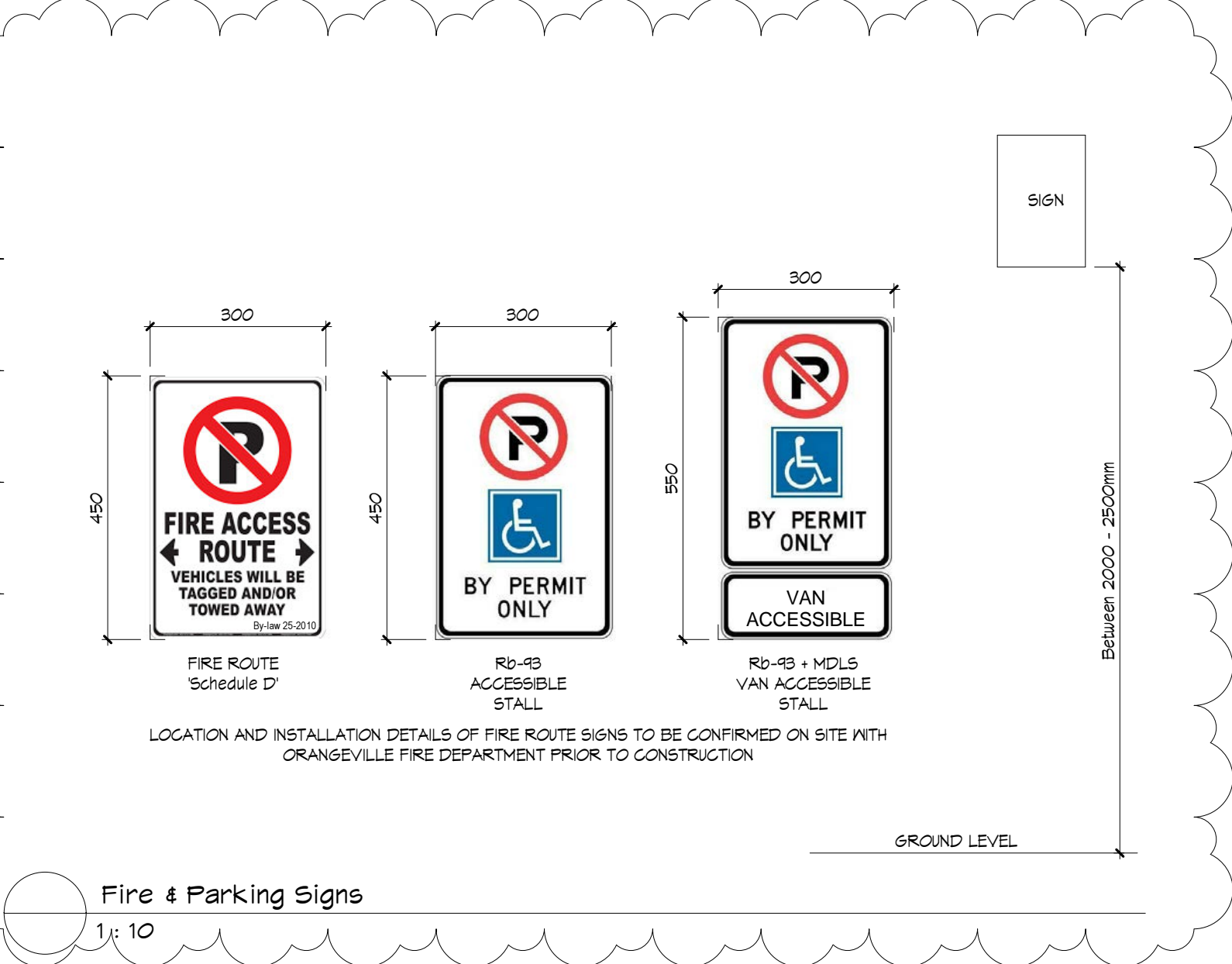
\_\_\_\_\_  
 Clerk

Zoning Map No. C3  
 This is a reference map only

- 
 Lands to be rezoned from Residential Third Density (R3) Zone to Multiple Residential Medium Density (RM1) Zone, S.P. 24.210
- 
 Lands to be rezoned from Residential Third Density (R3) Zone to Multiple Residential Medium Density (RM1)(F) Zone
- 
 Lands to be rezoned from Multiple Residential Medium Density (RM1) Zone to Multiple Residential Medium Density (RM1) Zone, S.P. 24.210
- 
 Lands to be rezoned from Residential Medium Density (RM1) Zone to Multiple Residential Medium Density (RM1)(F) Zone



**1 Site True North**  
 A1.0 1: 200



**Stacked Townhouses**  
 Centre Street Orangeville  
**Site Plan**

**JAMES FRYETT ARCHITECT INC.**  
 115 Metcalfe Street, Elora, Ontario N0B 1S0  
 Tel: 519-846-2201, Fax: 519-846-0343, www.fryettarchitect.com

**ONTARIO ASSOCIATION OF ARCHITECTS**  
 Robert Ian Turner, Licence 7887

STATUS: SPA  
 PROJECT #: 1700B  
 CHKD: RIT  
 DRAWN: RIT  
 SCALE: As Indicated  
 DATE DWN: 2017 05 05  
 ISSUED: 2017 10 30

A1.0

NAME OF PROJECT:		LOCATION: Centre St., Orangeville - ON	
Centre Street Townhomes			
ITEM	ONTARIO BUILDING CODE DATA MATRIX PART 3	OBC REFERENCE	
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 3 1.1.2 [DIV A] 3.1.2.1.(1)	<input type="checkbox"/> PART 4 1.1.2 [DIV A] 4.9.10.1.3 11.1 TO 11.4
2	MAJOR OCCUPANCY(S) RESIDENTIAL GROUP C	3.1.2.1.(1)	4.10.2
3	BUILDING AREA (m2) EXISTING N/A NEW 124.72 m2 (1,801sf) TOTAL: 124.72 m2 (1,801sf)	1.4.1.2 [DIV A]	1.4.1.2 [DIV A]
4	GROSS AREA EXISTING N/A NEW 2,048.09 m2 (22,384sf) TOTAL: 2,048.09 m2 (22,384sf)	1.4.1.2 [DIV A]	1.4.1.2 [DIV A]
5	NUMBER OF STOREYS 3 ABOVE GRADE 3 BELOW GRADE 1	1.4.1.2 [DIV A] & 3.2.1.1.	1.4.1.2 [DIV A] & 4.10.4.
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 2	3.2.2.10, 4.3.2.5	4.10.20.
7	BUILDING CLASSIFICATION 3.2.2.46. GROUP C, up to 3 Stores, Increased Area	3.2.2.20 - 03.	4.10.2.
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT COMPARTMENTS <input type="checkbox"/> IN LIEU OF ROOF RATINGS <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.20 - 03. 3.2.1.5. 3.2.2.17.	4.10.8.2.
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4.	N/A
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.	4.10.18.
11	WATER SERVICE / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (ASSUMED FIRE HYDRANT WITHIN 40m)	3.2.5.7.	N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.	N/A
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20 - 03.	4.10.6.
14	MEZZANINE(S) AREA m2 N/A	3.2.1.1. (3)-(6)	4.10.4.1.
15	TOTAL OCCUPANCY LOAD BASED ON <input type="checkbox"/> m2/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING BASEMENT: OCCUPANCY LOAD 2 PERSONS / BEDRM. PERSONS 24 1ST FLOOR: OCCUPANCY LOAD PERSONS 24 2ND FLOOR: OCCUPANCY LOAD PERSONS 0 3RD FLOOR: OCCUPANCY LOAD PERSONS 48 TOTAL 96	3.1.17.	4.4.1.3.
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8.	4.5.2.
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2. & 3.3.1.19	4.10.13.(4)
18	REQUIRED FIRE RESISTANCE RATINGS (FRR) HORIZONTAL ASSEMBLIES LISTED DESIGN NO. OR DESCRIPTION (55-2) FLOORS 1 HOURS ROOF 1 HOURS MEZZANINE N/A HOURS FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (55-2) FLOORS 1 HRS ROOF 1 HOURS MEZZANINE N/A HOURS	3.2.2.20 - 03. 3.2.1.4.	4.10.8. 4.10.9.
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3.	4.10.14. & 4.10.15.
	WALL AREA OF EBF (m2) L.D. (m) L/H OR H/L PERMITTED MAX % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION	COMB CONST	COMB CONSTR NONC CLADDING
	NORTH - - - - -	-	-
	SOUTH - - - - -	-	-
	EAST - - - - -	-	-
	WEST - - - - -	-	-
20	OTHER - DESCRIBE		

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE WORK UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE FOR INFORMATION ONLY AND ARE NOT TO BE RETURNED AT HIS REQUEST.  
DO NOT SCALE DRAWINGS.



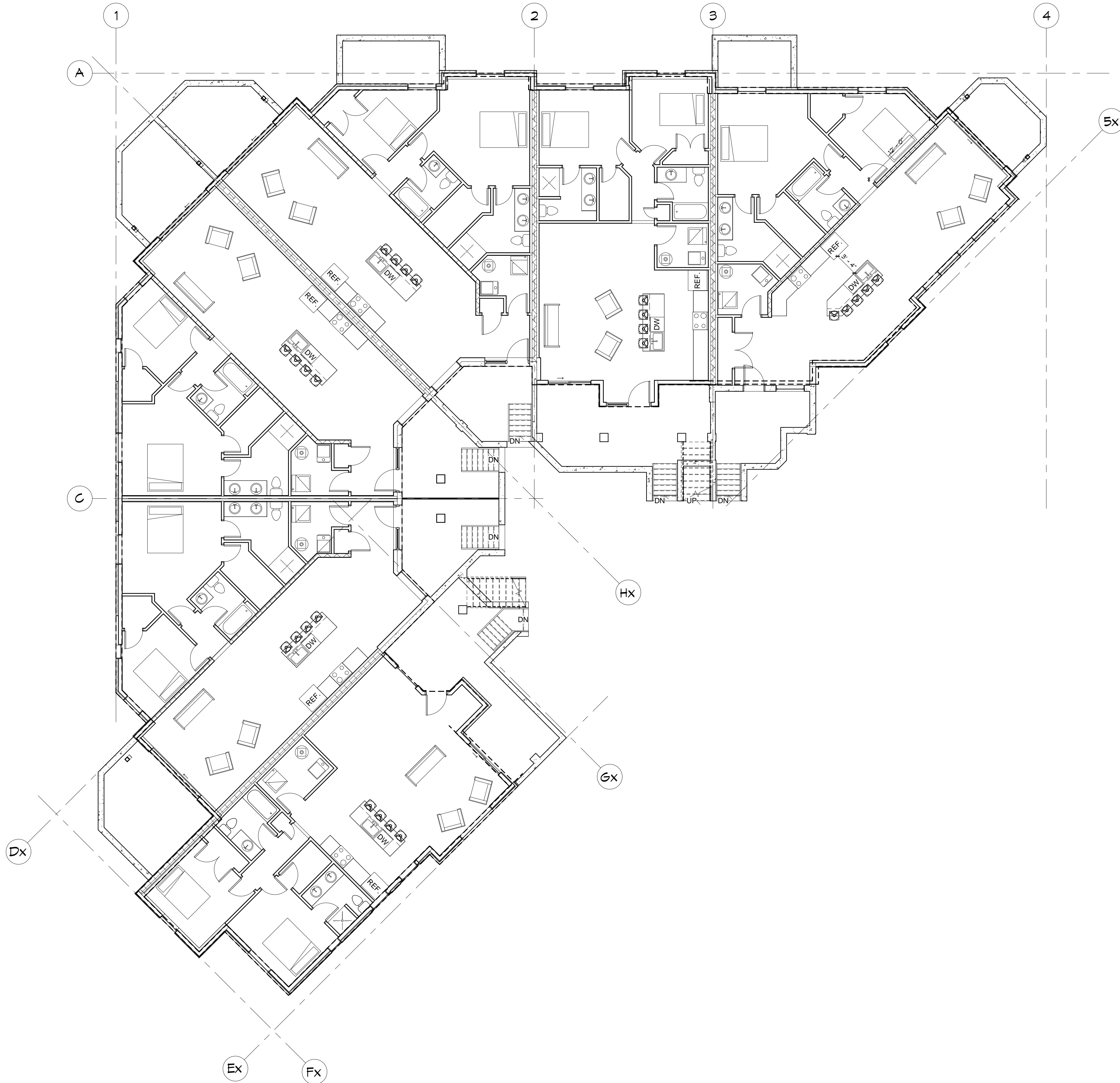
PROJECT NORTH

Stacked Townhouses  
Centre Street Orangeville  
OBC Matrix

STATUS: SPA  
PROJECT #: 17006  
CHKD: RIT  
DRAWN: RIT  
SCALE: 1/4" = 1'-0"  
DATE DWN: 02/07/14  
ISSUED: 2011 10 30

7/23/2018 4:31:52 PM

1 000 Basement  
A2.1 1/8" = 1'-0"



6 SPA Resubmission 2018\_07\_23  
REVISIONS DATE

STATUS	SFA
PROJECT #	17006
CHKD	RIT
DRAWN	RIT
SCALE	1/8" = 1'-0"
DATE DWN	07/09/17
ISSUED	2017 10 30

Stacked Townhouses  
Centre Street Orangeville  
Basement Plan

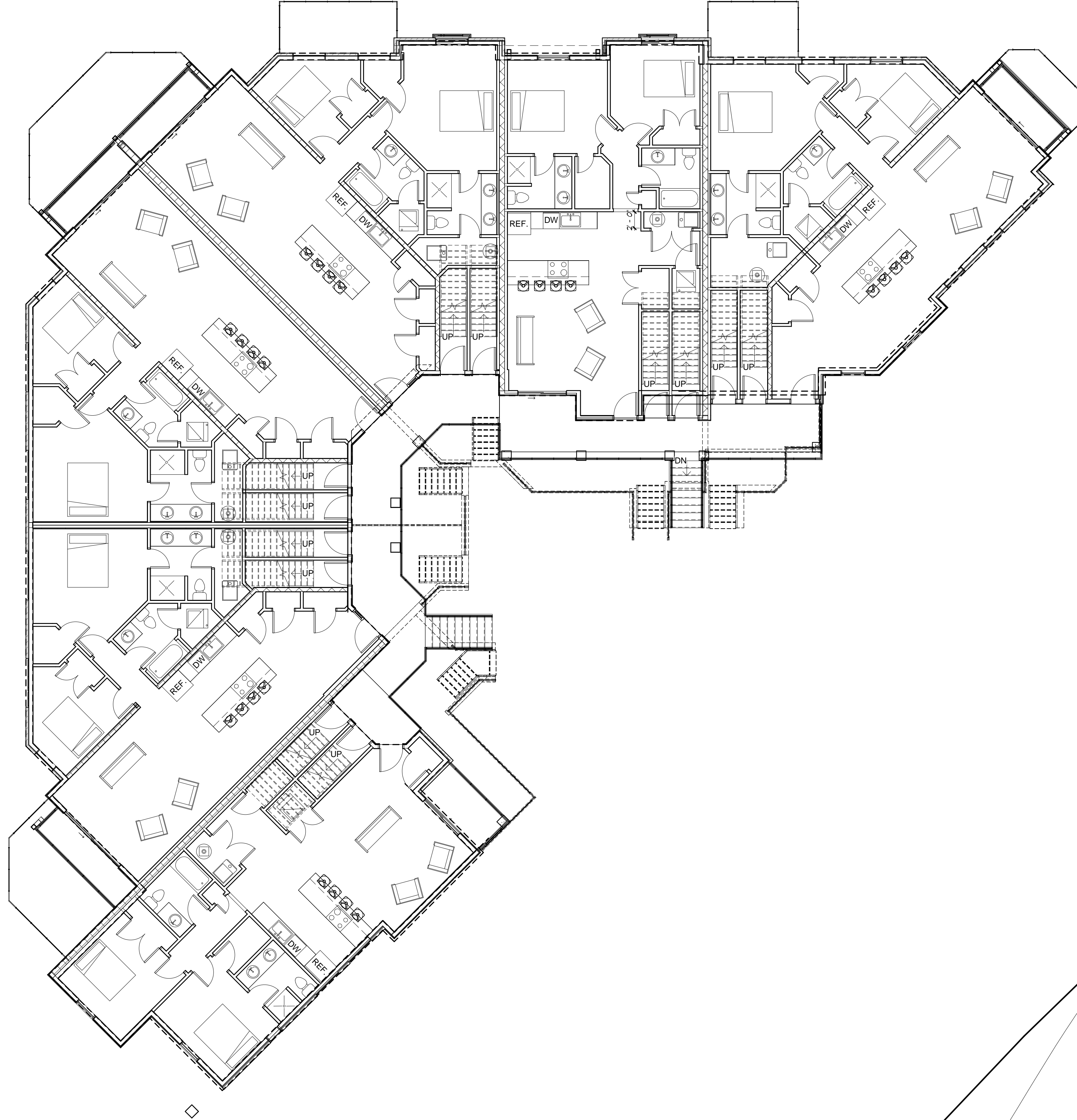
PROJECT NORTH



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE BY-LAWS AND ORDINANCES. DIMENSIONS AND AREAS TO BE RETURNED AT HIS REQUEST.  
DO NOT SCALE DRAWINGS.  
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1 001 Level 1  
A2.2 1/8" = 1'-0"



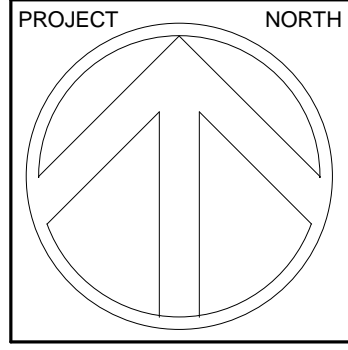
- PLAN LEGEND**
- WALL TYPES SEE A3.1  
XX = FIRE RESISTANCE RATING
  - WINDOW TYPES SEE A3.2
  - DOOR TYPES SEE A3.2
  - INTERIOR ELEVATIONS SEE A3.0

- NOTES:**
- 1) STRUCTURAL ELEMENTS SHOWN FOR COORDINATION PURPOSES ONLY - REFER TO STRUCTURAL DWGS FOR ALL STRUCTURAL ITEMS.
  - 2) ALL BEAMS, WALLS AND COLUMNS SUPPORTING 2-HR. RATED FLOORS ABOVE SHALL BE 2-HR. F.R.R.
  - 3) ALL INTERIOR STEEL BEAMS SUPPORTING PRE-CAST FLOOR TO BE FLUSH BEAMS U.N.O. SEE STRUCTURAL DWGS.
  - 4) ROD AND SHELF TYPICAL ALL CLOSETS.
  - 5) FOR UNIT DETAILS SEE A3.1 - A3.3

STATUS	SFA
PROJECT #	17006
CHKD	RIT
DRAWN	RIT
SCALE	As Indicated
DATE DWN	FEB 26/19
ISSUED	2017 10 30

PROJECT TITLE

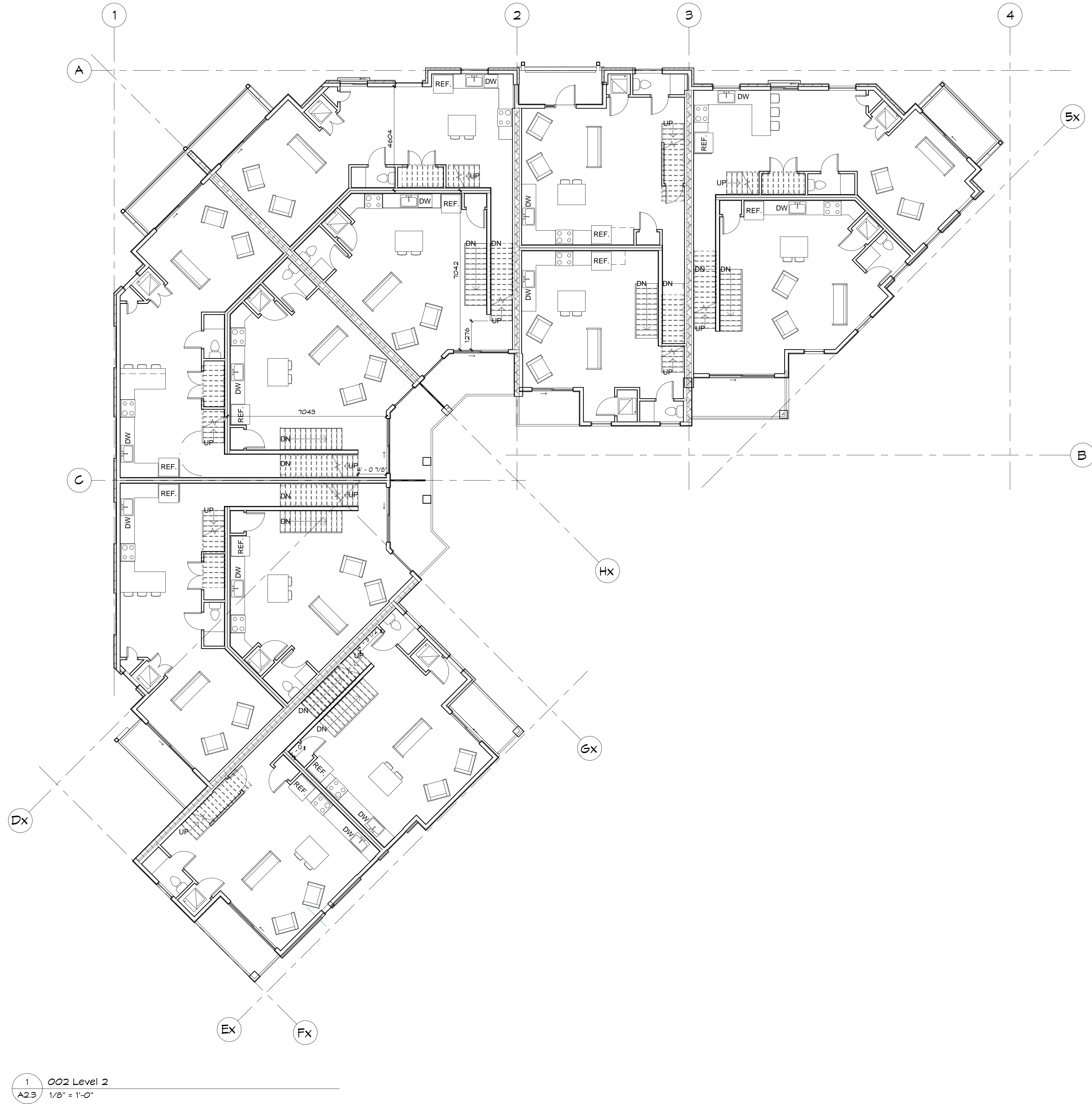
# Stacked Townhouses Centre Street Orangeville 1st Floor Plan



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION. THE ARCHITECT SHALL BE ADVISED IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ARE TO BE RETURNED AT HIS REQUEST.  
DO NOT SCALE DRAWINGS.

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Eloor, Ontario N0B 1S0  
Tel: 519-846-2201  
Fax: 519-846-0345  
www.fryettarchitect.com

7/23/2018 4:31:58 PM



1 002 Level 2  
 A2.3 1/8" = 1'-0"

6 SPA Resubmission 2018.07.23  
 REVISIONS DATE

STATUS	SFA
PROJECT #	17006
CHKD	Checker
DRAWN	Author
SCALE	1/8" = 1'-0"
DATE DWN	FEB. 26/19
ISSUED	2017.10.30

**Stacked Townhouses**  
 Centre Street Orangeville  
**2nd Floor Plan**

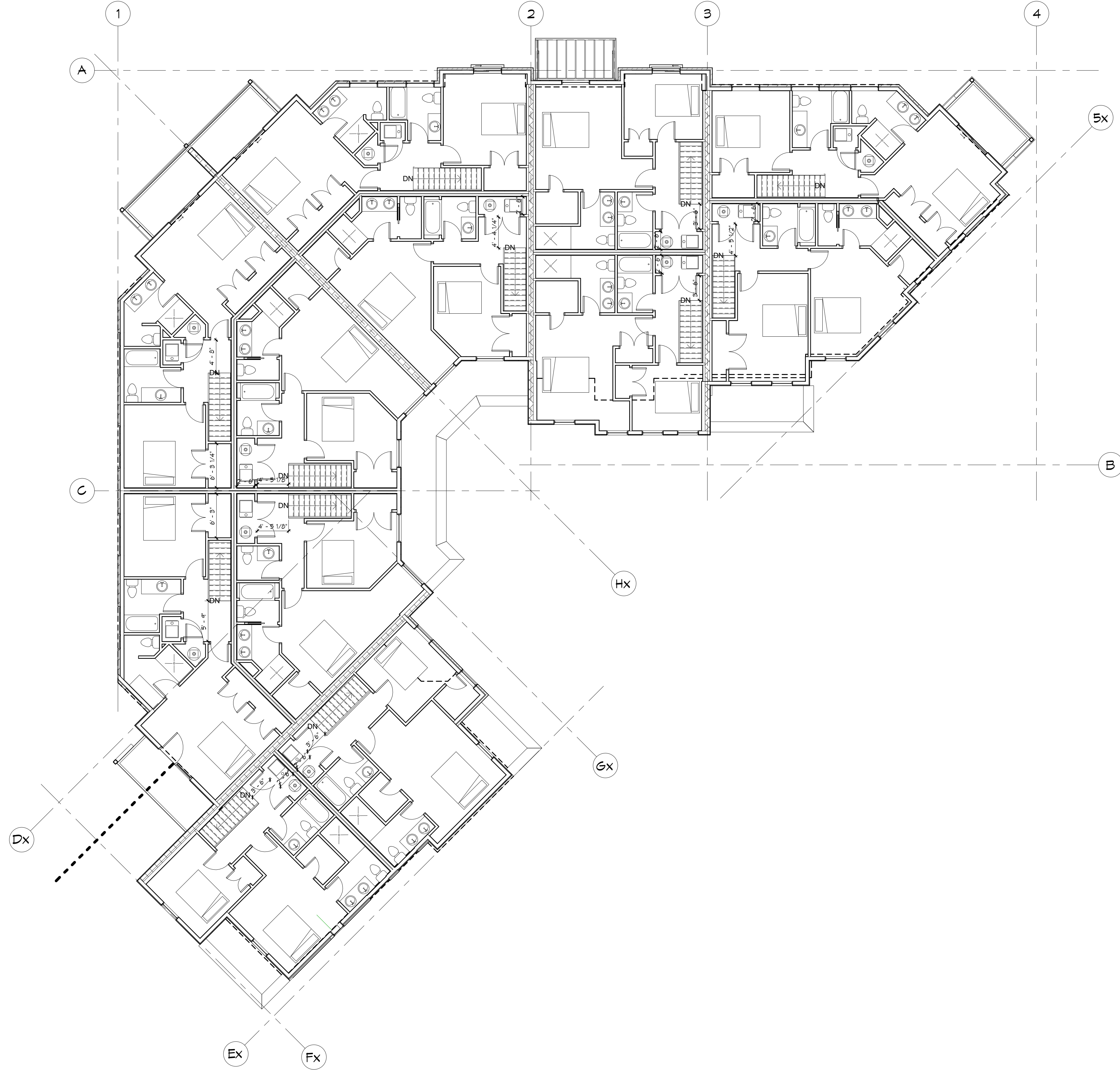
PROJECT NORTH



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
 ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT ARE THE PROPERTY OF JAMES FRYETT ARCHITECT INC. AND ARE TO BE RETURNED AT HIS REQUEST.  
 DO NOT SCALE DRAWINGS.  
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7/23/2018 4:32:01 PM

1 003 Level 3  
A2.4 1/8" = 1'-0"



6 SPA Resubmission  
REVISIONS DATE 2018\_07\_23

STATUS	SFA
PROJECT #	17006
CHKD	RIT
DRAWN	RIT
SCALE	1/8" = 1'-0"
DATE DWN	07/09/17
ISSUED	2017.10.30

**Stacked Townhouses**  
Centre Street Orangeville  
**3rd Floor Plan**

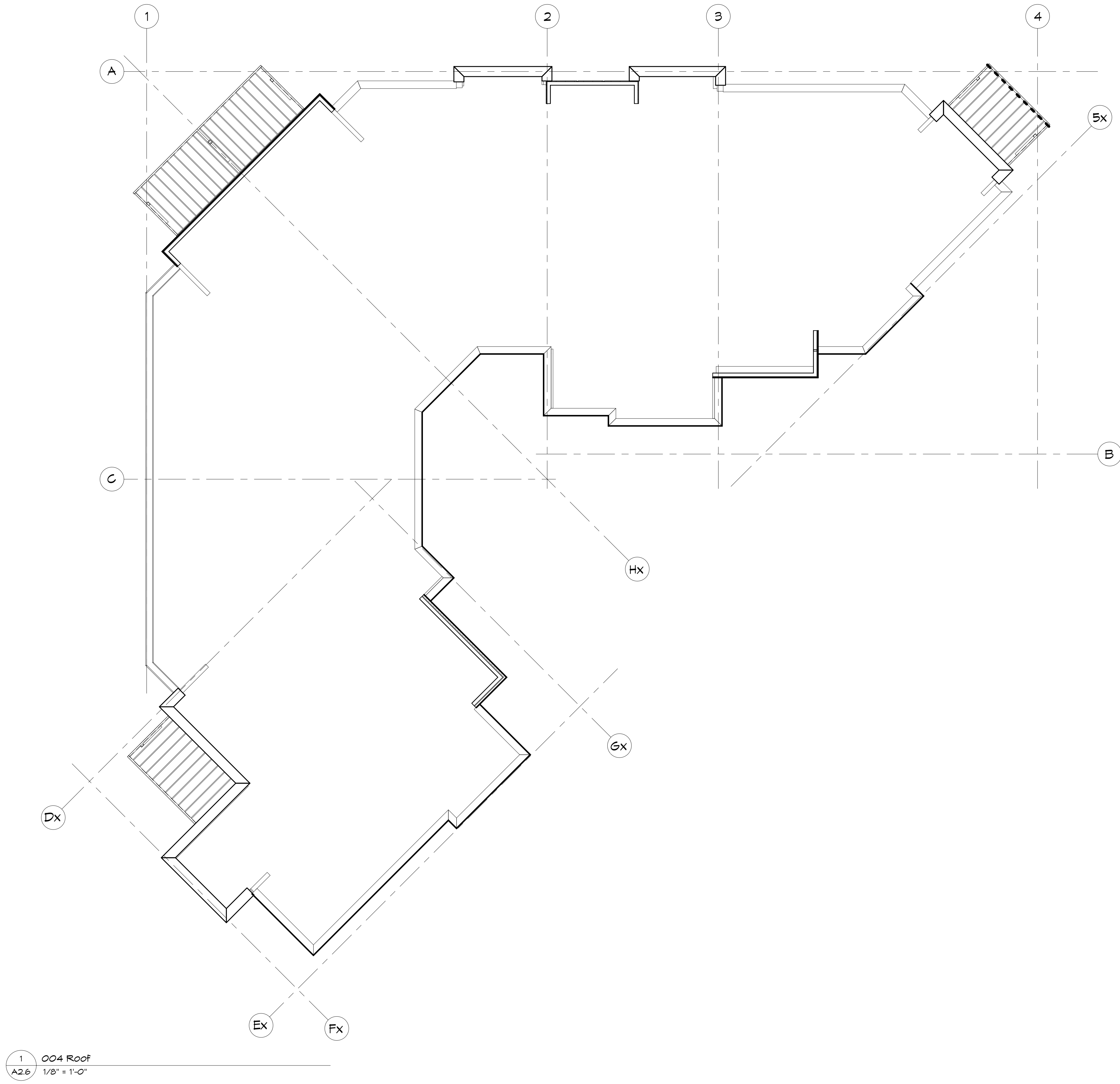
PROJECT NORTH



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE REGULATIONS AND ARE TO BE RETURNED AT HIS REQUEST.  
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7/23/2018 4:32:02 PM



1 004 Roof  
 A2.6 1/8" = 1'-0"

6 SPA Resubmission 2018\_07\_23  
 REVISIONS DATE

STATUS	SPA
PROJECT #	17006
CHKD	Checker
DRAWN	RIT
SCALE	1/8" = 1'-0"
DATE DWN	JUL 9 2017
ISSUED	2017 10 30

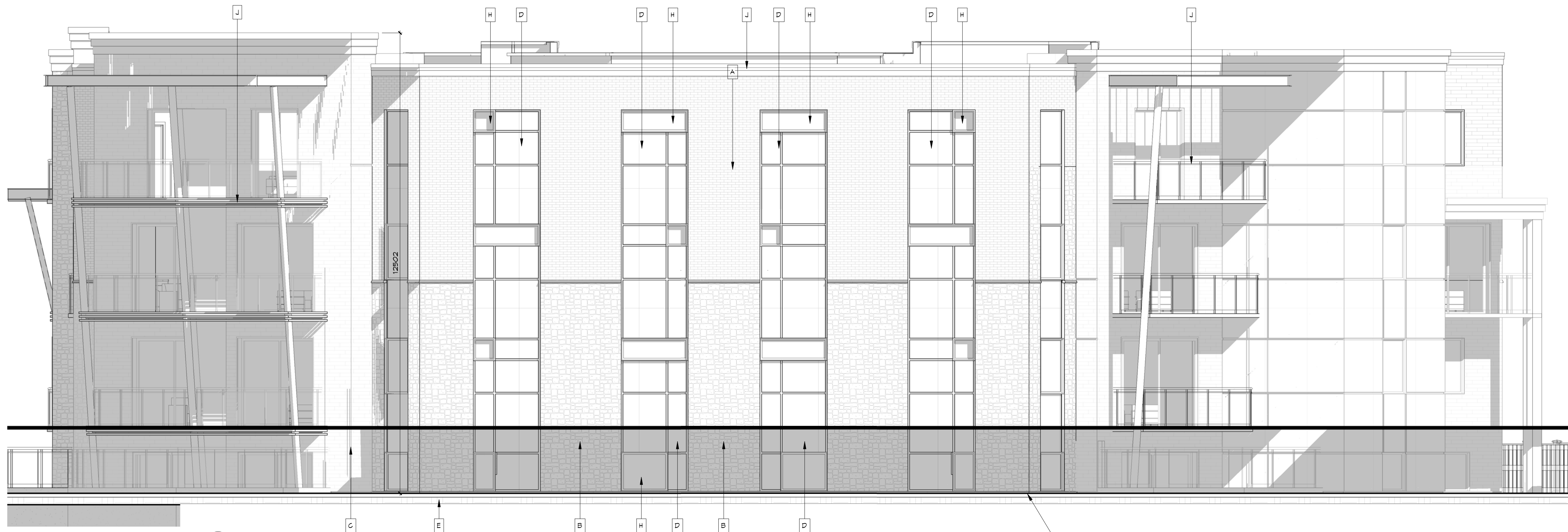
**Stacked Townhouses**  
 Centre Street Orangeville  
**Roof Plan**

PROJECT NORTH



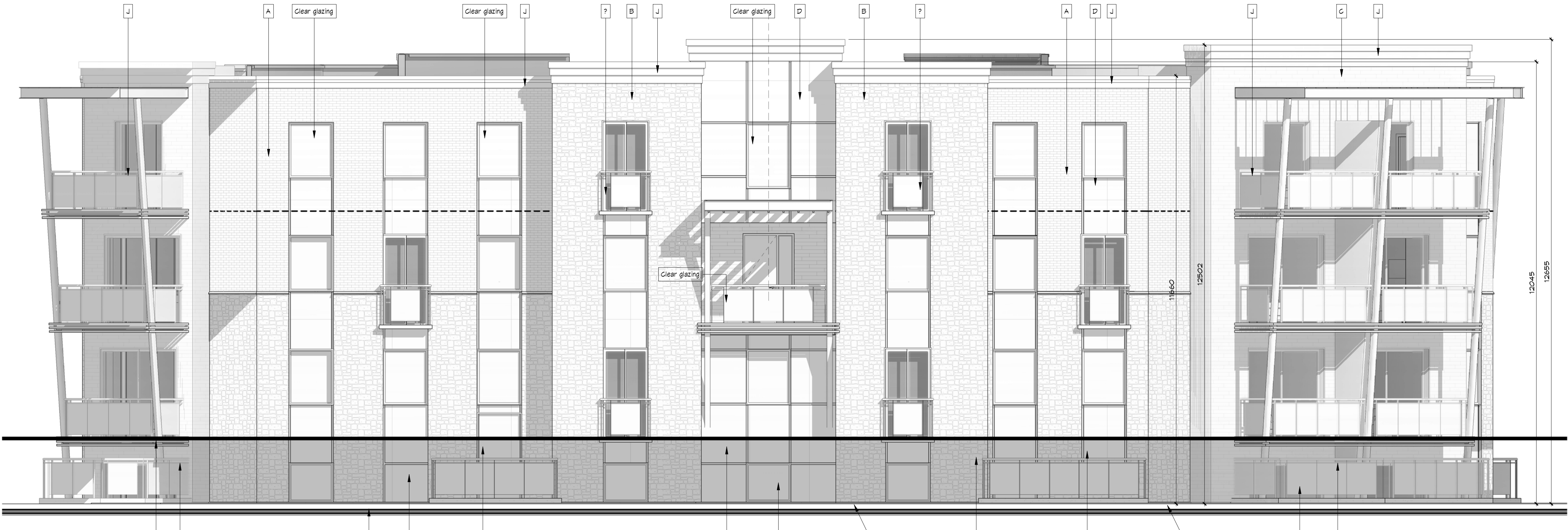
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE ARCHITECT TAKES NO RESPONSIBILITY FOR THE WORK UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
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1 South Elevation  
A4.0 3/16" = 1'-0"

AVERAGE GRADE AT FRONT OF BUILDING



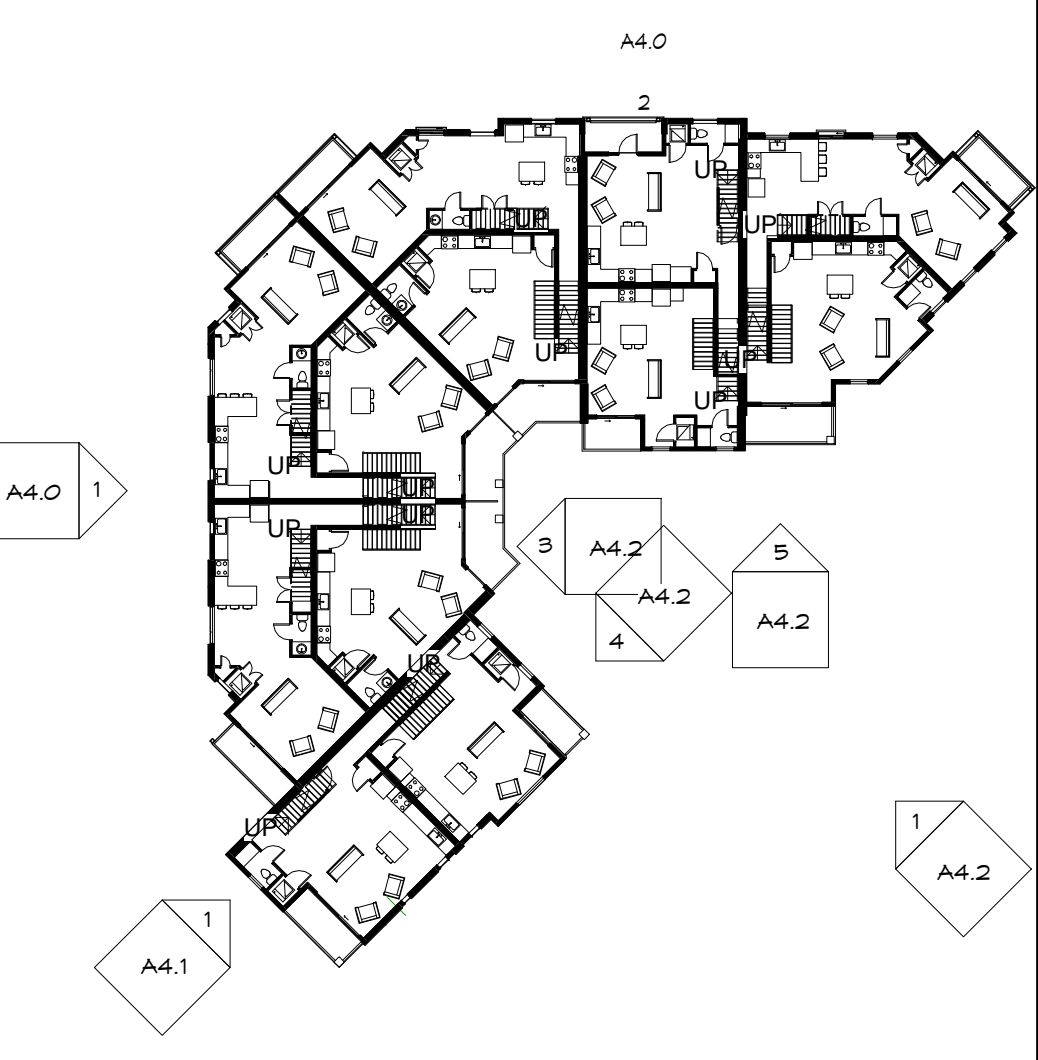
2 West Elevation  
A4.0 3/16" = 1'-0"

AVERAGE FINISHED GRADE AT FRONT OF BUILDING

AVERAGE FINISHED GRADE AT FRONT OF BUILDING

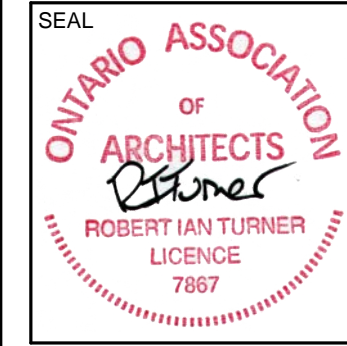
MATERIAL LEGEND

A	BRICK - BRAMPTON BRICK - LEGATO MIDNIGHT
B	STONE - BRAMPTON BRICK - VIVACE MILANO
C	ALLURA FIBRE CEMENT LAP SIDING - MAHOGANY
D	SMOOTH HARDIE BOARD PANEL - IRON GREY
E	METAL TRIM - BLACK
F	DIMENSIONAL LUMBER - STAINED MAHOGANY
G	VINYL FRAMED WINDOW - BLACK
H	BLACK ALUMINUM HANDRAIL & FRAME, CLEAR GLASS GUARD
L	



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION. THE ARCHITECT BRICK TO THE CONTRACTOR OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

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PROJECT	NORTH
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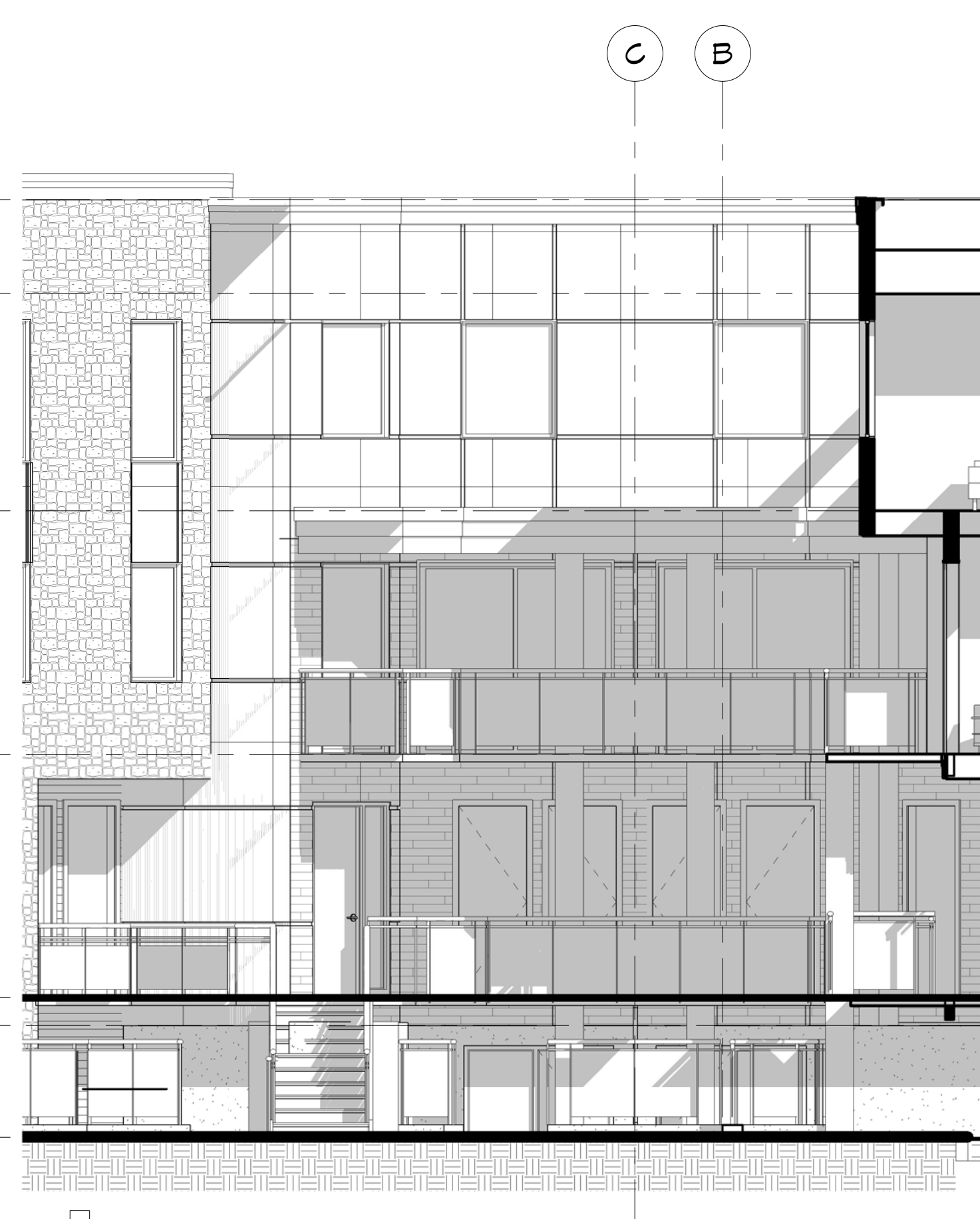
Stacked Townhouses  
Centre Street Orangeville  
Building Elevations

STATUS	SPA
PROJECT #	17006
CHKD	Checker
DRAWN	Author
SCALE	As Indicated
DATE DWN	FEB 26/18
ISSUED	2017 10 30

6 SPA Resubmission  
REVISIONS  
DATE 2018 07 23



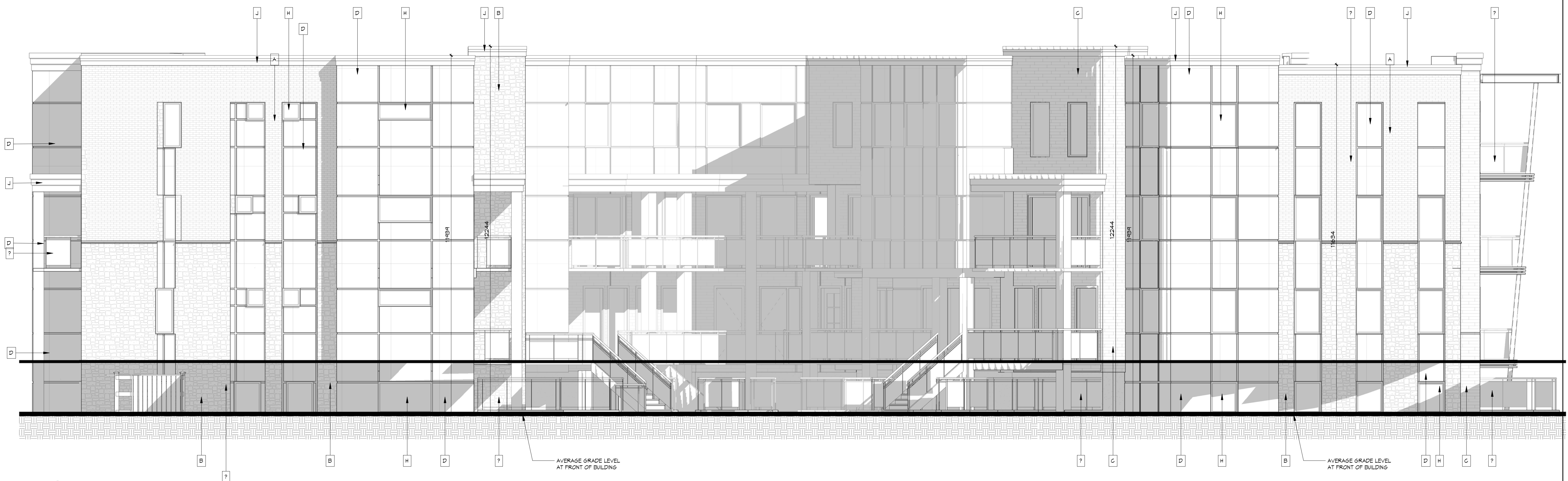
4 NW Interior Elevation  
A4.2 3/16" = 1'-0"



3 North Interior Elevation  
A4.2 3/16" = 1'-0"



5 East Interior Elevation  
A4.2 3/16" = 1'-0"



1 North-East Elevation  
A4.2 3/16" = 1'-0"

7/23/2018 4:32:55 PM

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PROJECT	NORTH
---------	-------

**Stacked Townhouses**  
Centre Street Orangeville  
Building Elevations

STATUS	SFA
PROJECT #	17006
CHKD	Checker
DRAWN	Author
SCALE	3/16" = 1'-0"
DATE DWN	07/09/17
ISSUED	2017.10.30

6 SPA Resubmission  
REVISIONS  
DATE 2018.07.23



1 3D View 8\_3  
A8.0 12" = 1'-0"



2 3D View 9\_3  
A8.0 12" = 1'-0"

7/23/2018 4:32:56 PM

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF THE WORK AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DISCREPANCIES UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.  
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PROJECT NORTH

**Stacked Townhouses**  
 Centre Street Orangeville  
 Exterior Views

STATUS	SFA
PROJECT #	17006
CHKD	Checker
DRAWN	Author
SCALE	12" = 1'-0"
DATE DWN	10/18/17
ISSUED	2017 10 30

# ATTACHMENT 3

PL180178

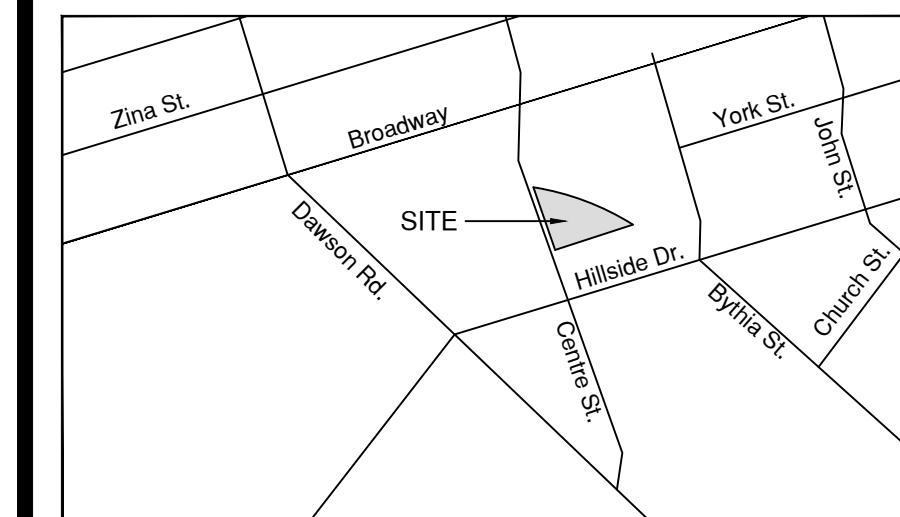
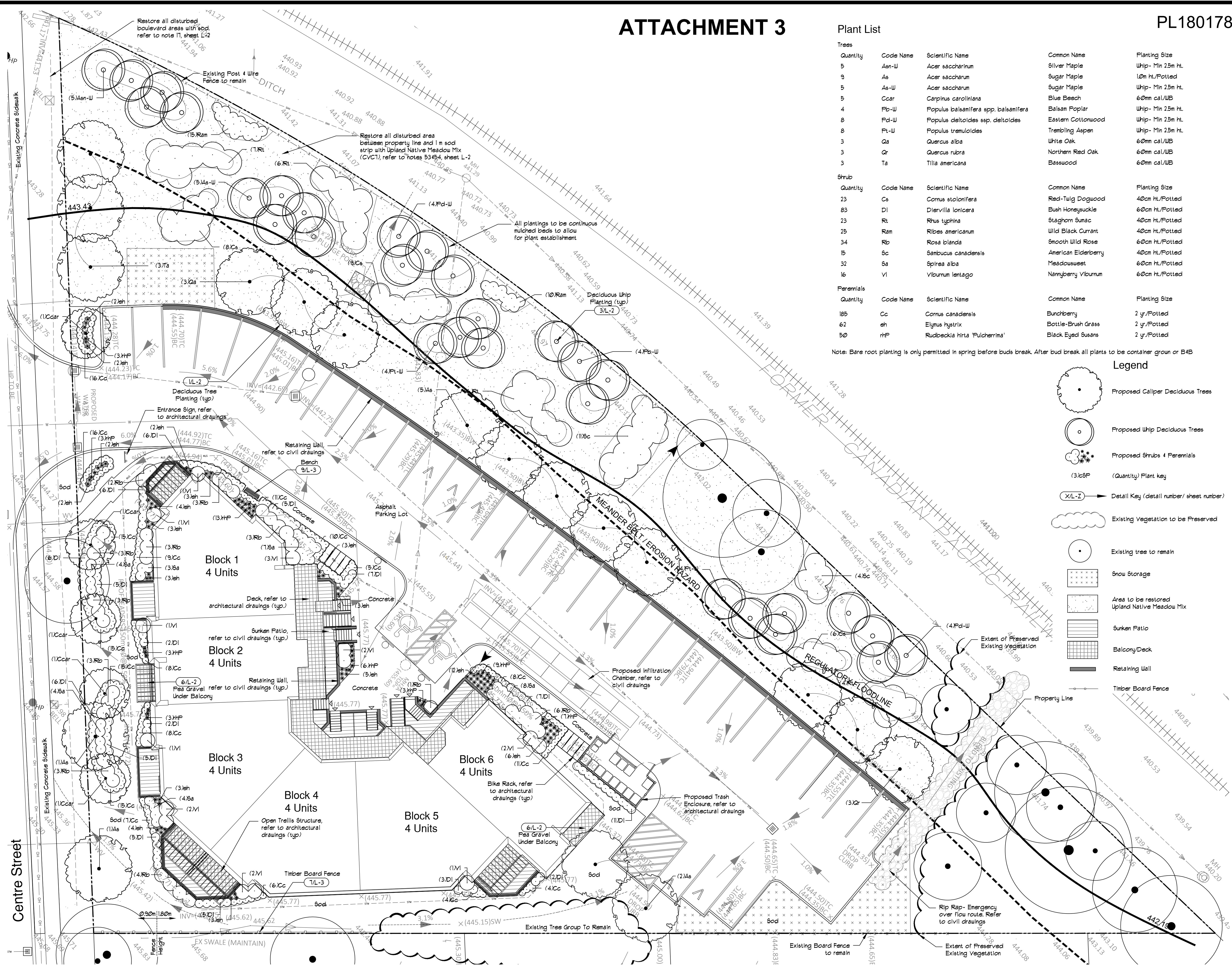
## Plant List

Trees				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
5	As-W	Acer saccharinum	Silver Maple	Whip- Min 25m ht.
9	As	Acer saccharum	Sugar Maple	10m ht./Potted
5	As-W	Acer saccharum	Sugar Maple	Whip- Min 25m ht.
5	Ccar	Carpinus caroliniana	Blue Beech	60mm cal/UB
4	Pp-W	Populus balsamifera spp. balsamifera	Balsam Poplar	Whip- Min 25m ht.
8	Pd-W	Populus deltoides sep. deltoides	Eastern Cottonwood	Whip- Min 25m ht.
8	Pl-W	Populus tremuloides	Trembling Aspen	Whip- Min 25m ht.
3	Qa	Quercus alba	White Oak	60mm cal/UB
3	Qr	Quercus rubra	Northern Red Oak	60mm cal/UB
3	Ta	Tilia americana	Basswood	60mm cal/UB
Shrub				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
23	Cs	Cornus stolonifera	Red-Twig Dogwood	40cm ht./Potted
83	DI	Diervilla lonicera	Bush Honeysuckle	60cm ht./Potted
23	Rt	Rhus typhina	Staghorn Sumac	40cm ht./Potted
25	Ram	Ribes americanum	Wild Black Currant	40cm ht./Potted
34	Rb	Rosa blanda	Smooth Wild Rose	60cm ht./Potted
15	Sc	Sambucus canadensis	American Elderberry	40cm ht./Potted
32	Sa	Spiraea alba	Meadowsweet	60cm ht./Potted
16	VI	Viburnum lentago	Nannyberry Viburnum	60cm ht./Potted
Perennials				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
185	Cc	Cornus canadensis	Bunchberry	2 y./Potted
62	eh	Elymus hystrix	Bottle-Brush Grass	2 y./Potted
50	rhP	Rudbeckia hirta 'Pulcherrima'	Black Eyed Susans	2 y./Potted

Note: Bare root planting is only permitted in spring before buds break. After bud break all plants to be container grown or B4B

## Legend

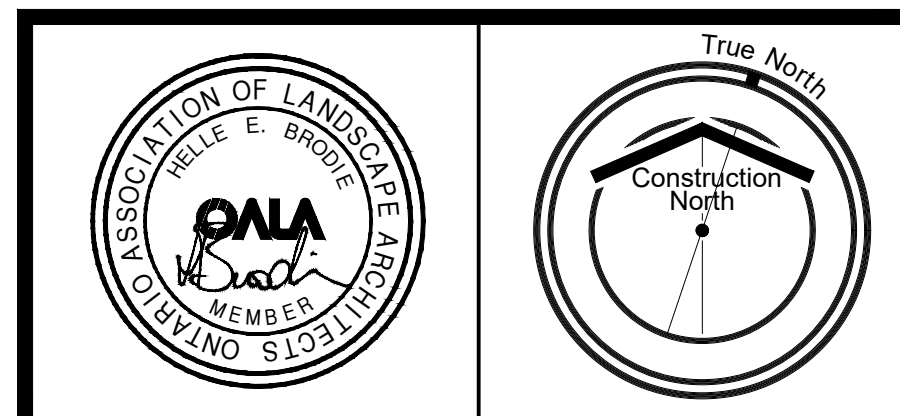
- Proposed Calliper Deciduous Tree
- Proposed Whip Deciduous Tree
- Proposed Shrubs & Perennials
- (Quantity) Plant key
- Detail Key (detail number / sheet number)
- Existing Vegetation to be Preserved
- Existing tree to remain
- Snow Storage
- Area to be restored Upland Native Meadow Mix
- Sunken Patio
- Balcony/Deck
- Retaining Wall
- Timber Board Fence



Key Plan NTS

No.	Date	Revision	By
4	Nov. 9, 2018	Drawing Coordination	NW
3	May 4, 2018	Issued For Coordination	NW
2	Dec. 5, 2017	CVC Comments - Plant List	NW
1	Oct. 30, 2017	Re-issued for SPA	NW
	Jan. 25, 2017	Issued For Coordination	NW

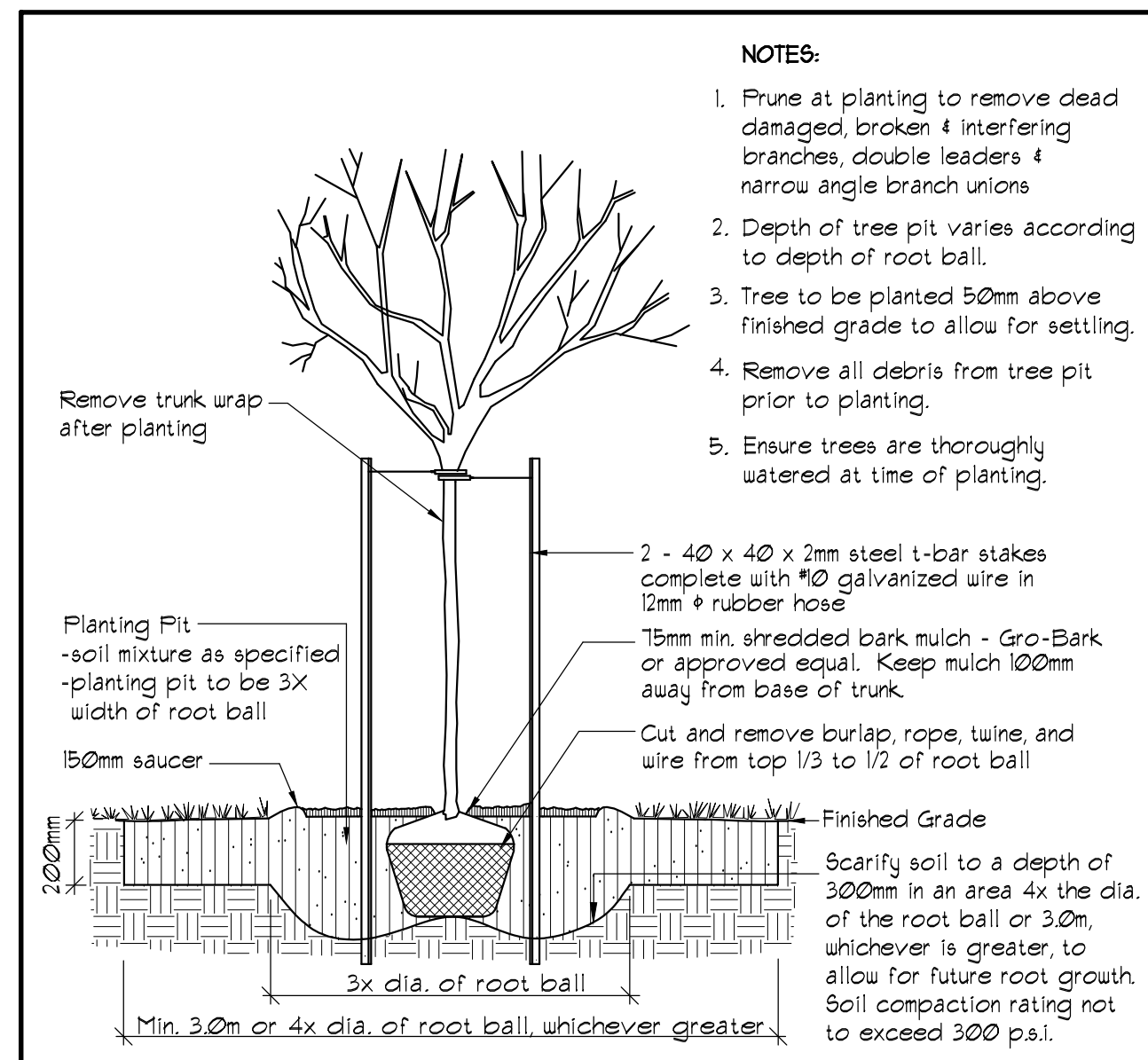
Client: 2500149 Ontario Inc.



**Brodie & Associates**  
 LANDSCAPE ARCHITECTS INC.  
 349 Carlaw Avenue, Suite 202, Toronto, Ontario M4M 2T1  
 Tel. (416) 778-7878 • Fax (416) 778-7874  
 e-mail: design@brodie.on.ca

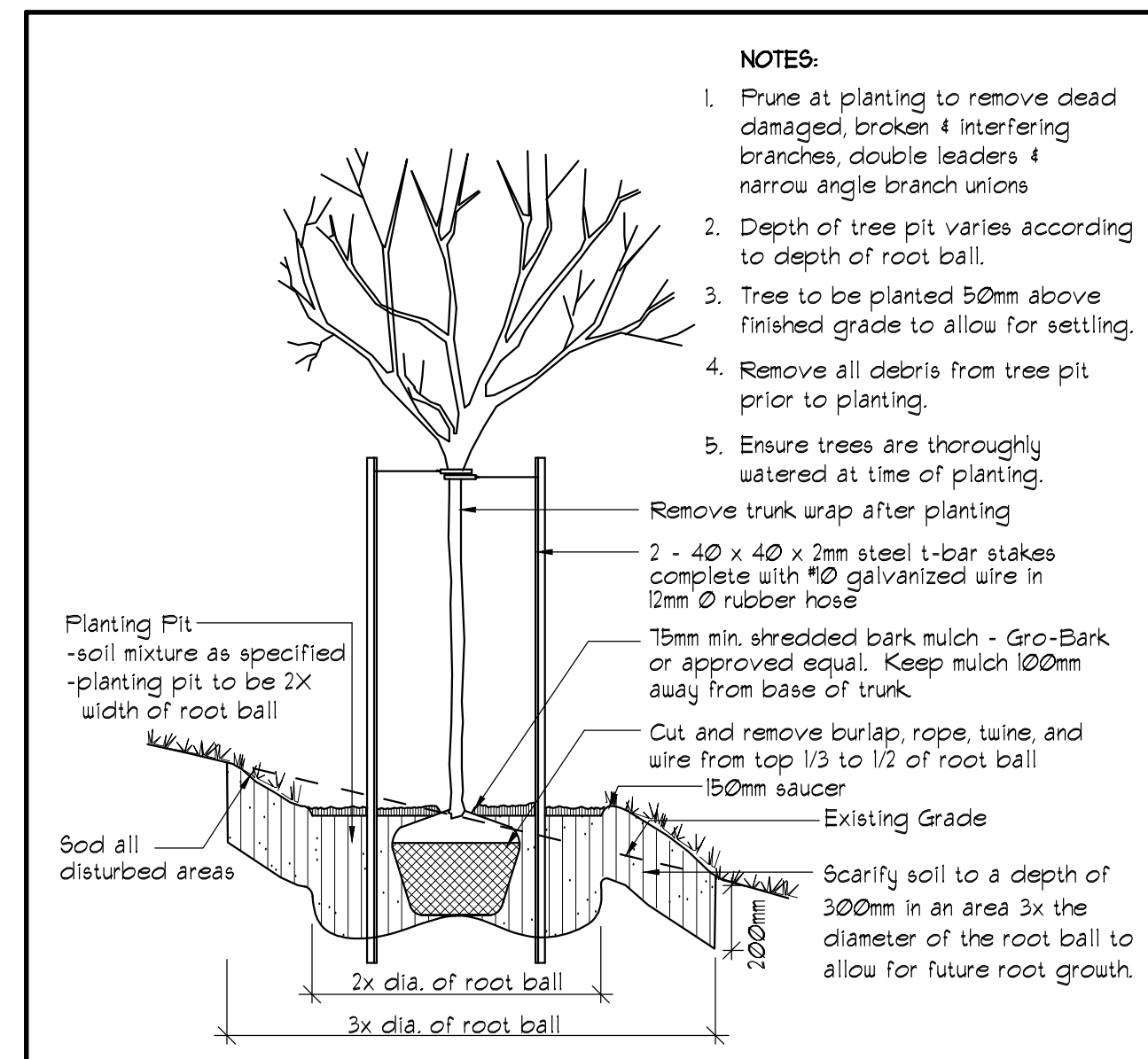
Project: 15-19 Centre Street  
 19 Centre Street  
 Orangeville, ON L9W 2W9

Title: Landscape Plan	
Scale: 1:200	Date: January 2017
Designed: NW	Drawn: NW
Job No.: 16-43	Drawing No.: L-1



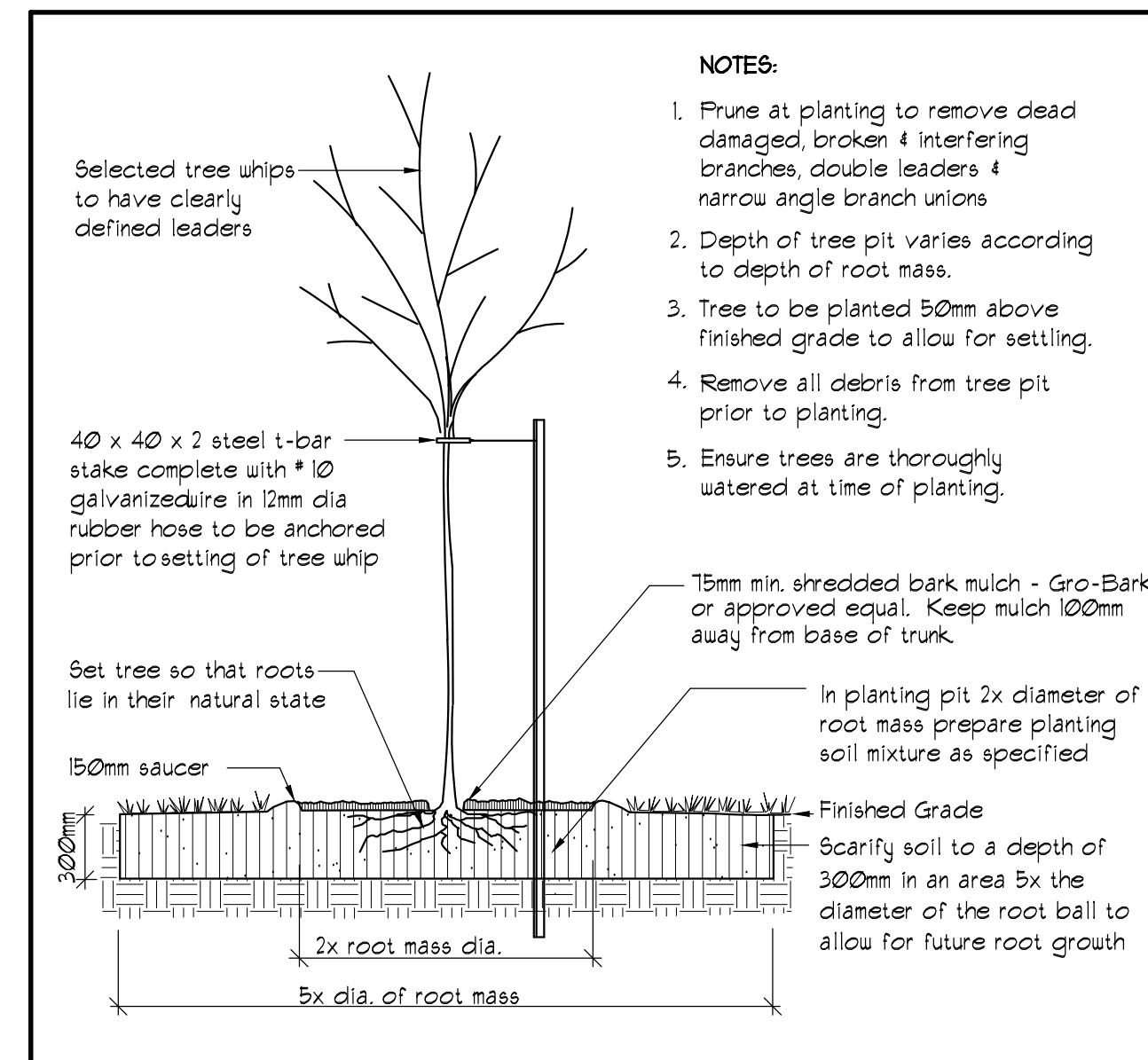
1 - Deciduous Tree Planting

N.T.S.



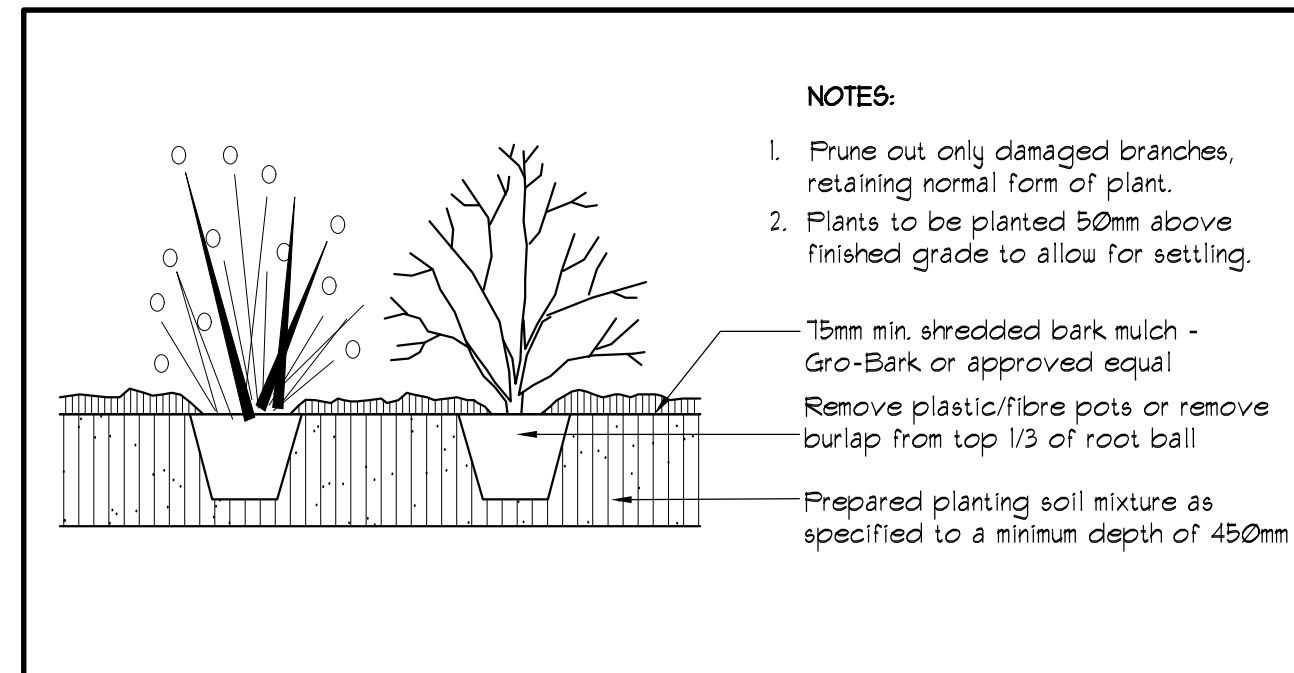
2 - Deciduous Tree Planting on Slope

N.T.S.



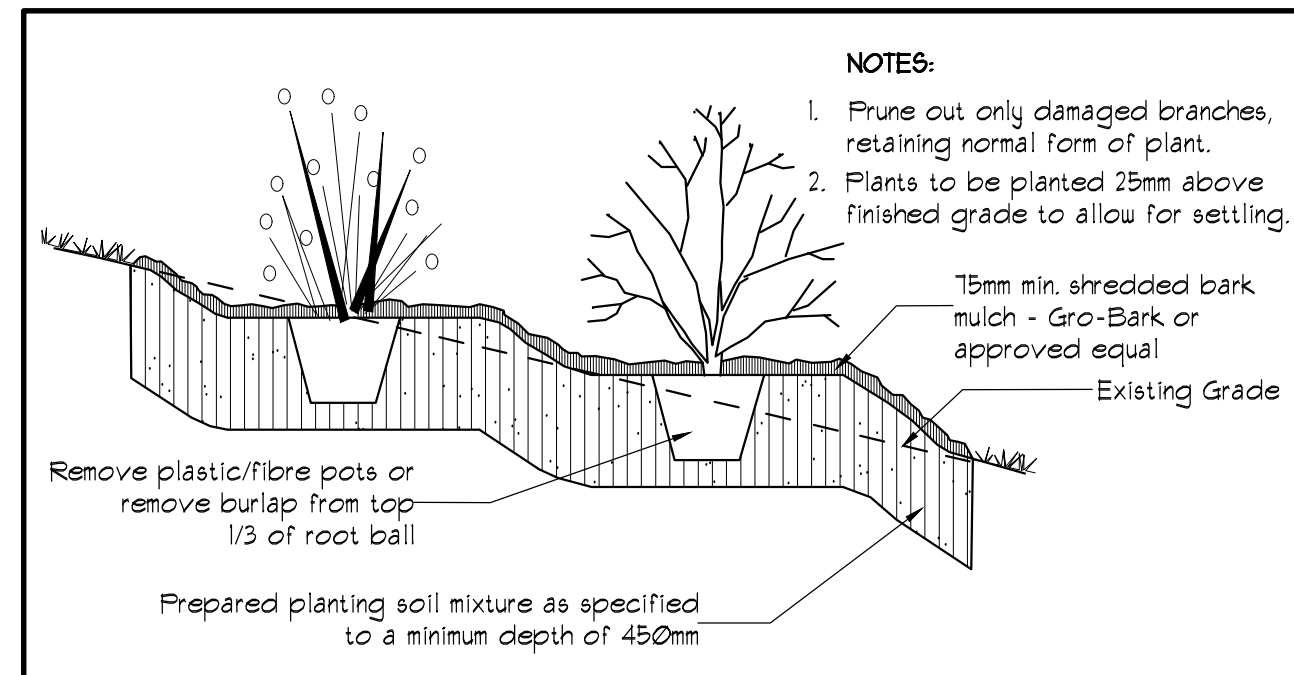
3 - Bare Root Tree Planting Detail

N.T.S.



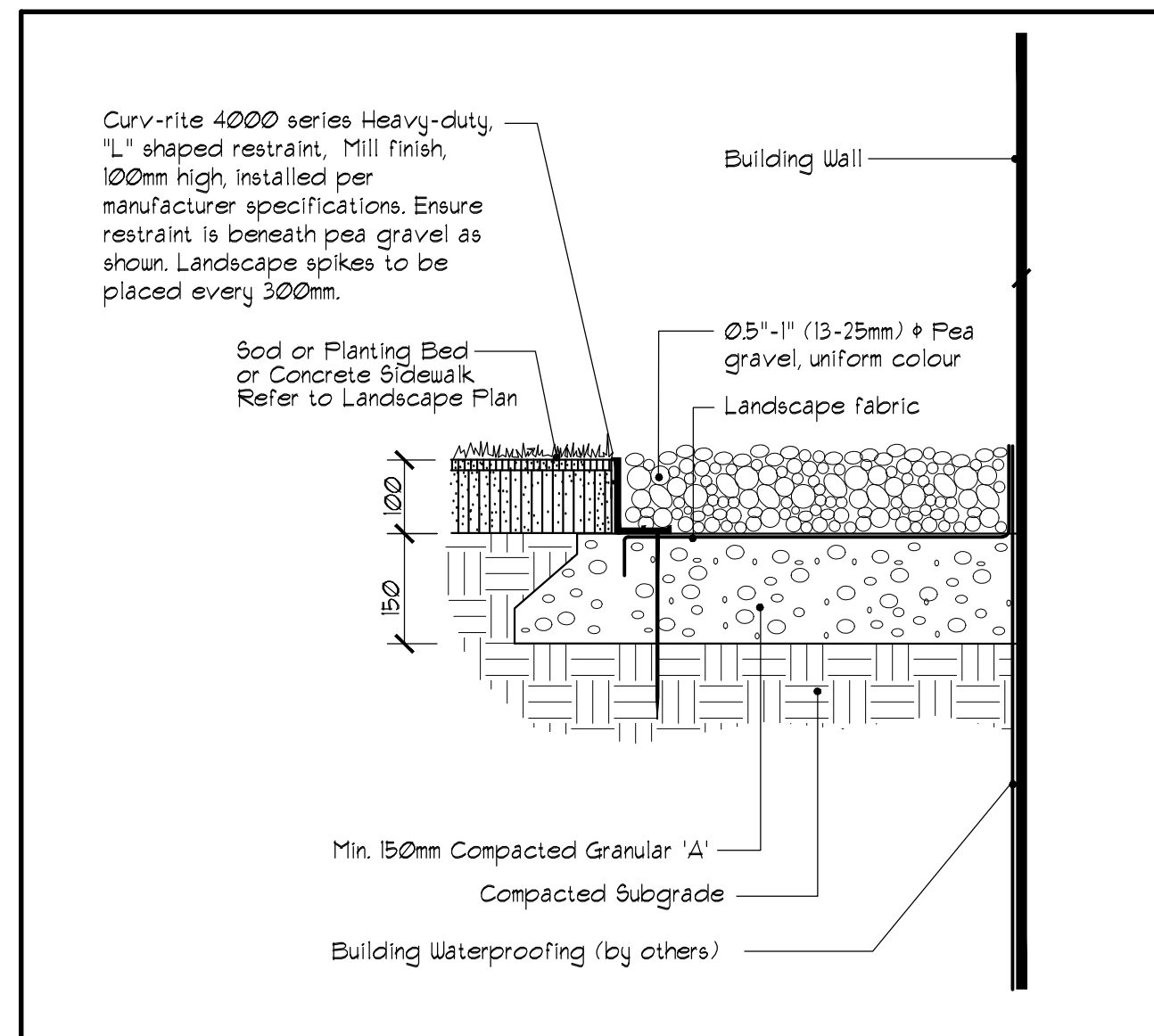
4 - Shrub and Perennial Planting

N.T.S.



5 - Shrub and Perennial Planting on Slope

N.T.S.



6 - Pea Gravel

N.T.S.

**Notes:**

1. Base information provided by Vanderweers Drafting & Design.
2. Grading information provided by Van Harten Surveying & Engineering.
3. Contractor to verify all dimensions and conditions on site prior to the commencement of work.
4. Obtain all necessary permits before commencement of construction. Report any discrepancies in the drawings, specifications and contract documents to the Landscape Architect before commencement of construction.
5. The Landscape Contractor is responsible for contacting the Landscape Architect upon completion of the landscape works for site review leading to substantial performance.

6. Grades within the site and at property line shall not exceed a 3:1 slope (33%)
7. All elevations are in metric units and can be converted to feet by dividing by 0.3048
8. Limestone Rocks to be placed in Planting Beds shall have a minimum size of 0.15x0.15x0.15m. Size of rocks to reflect placement in bed on plan, and the height/spread of surrounding plant material to ensure visibility over time.

- TOPSOIL & FINISH GRADING**
9. All soil shall be tested by a qualified testing laboratory at the source before delivery to the site.
  10. The contractor is responsible for amendments as recommended by soil testing laboratory.

11. Topsoil to be free of subsoil, stones 50mm in diameter or larger, roots, weeds, debris and toxic material.
12. Contractor to verify that grades are correct prior to placement of topsoil.
13. Cultivate entire area to receive topsoil to a minimum depth of 100mm.
14. Remove debris which protrudes more than 50mm above surface.
15. Grade soil, eliminating uneven areas and low spots, ensuring positive drainage.
16. Sodded and/or seeded areas to receive a minimum settled topsoil depth of 150mm

- FINE GRADE, SEED & SOD**
17. Sod shall be no. 1 nursery sod conforming to the Canadian Nursery Trades Association Specifications and Standards. All sod to be placed over 150mm of topsoil.
  18. Boulevard area to be restored with fine grading and sod by the Landscape Contractor.
  19. The bottom of all drainage swales to be sodded (min. 1m width).
  20. Contractor to restore all damaged areas with sod.
  21. Manually fine grade all areas to receive topsoil, eliminating rough spots and low areas to ensure positive drainage.
  22. Lay sod as soon as possible upon arrival on the site. Place sod closely knit together so that joints are not visible or overlapping.

23. Sod to be rolled to ensure good soil/sod bond and to remove minor irregularities. Water immediately after installation.
  24. Contractor to provide water until establishment of newly sodded areas.
  25. Contractor to provide all maintenance until acceptance.
- MAINTENANCE**
26. Maintenance to include all weeding, pruning, fertilization, and watering as necessary to maintain optimal plant health.

- PLANTER MAINTENANCE AFTER ACCEPTANCE**
27. Pruning & Weeding
    - Prune plants as needed to remove dead or injured members, and to shape the plant as intended by landscape design
    - Make cuts smooth, clean and flush to base members, cut back to living tissue where cuts are made.
    - Ensure cuts do not facilitate the retention of water.
    - Do not prune or remove leaders.
    - Weed planters monthly
  28. Watering
    - Water plants twice weekly or as needed to maintain optimal health until establishment.
    - Following establishment, water plants once weekly during dry spells or as needed to maintain optimal plant health.
  29. Fertilization & Pesticides
    - Apply 'Live Mulch' by GroBark (or approved equal) annually in the spring/early summer per manufacturer recommendations.
    - Pesticides to be applied only by licensed applicators when required. Natural products to be used wherever possible.

- RETAINING WALLS**
30. All retaining walls require a guardrail that meets all applicable Ontario Building Code requirements where the height of the wall exceeds 0.60m above finished grade.

- PLANTING**
31. The quantities indicated on the plan supersedes the totals of the plant list.
  32. All shrubs to be installed in continuous planting beds
  33. Planting soil to be the following minimum depths after settlement:
    - 450mm for shrub beds
    - 750mm for large shrubs
    - 900mm for tree planting - min. 10m around each tree (from centre of trunk)
  34. Prepare planting soil by mixing all elements evenly. Excavate and provide planting soils to depths indicated by planting details.
  35. All plant material to conform to the Canadian Nursery Trades Association Metric Guide Specifications and Standards.
  36. Obtain approval from Landscape Architect of schedule 7 days in advance of shipment of plant material.
  37. All plant material to be watered immediately upon arrival at the site.

39. Obtain approval from Landscape Architect of plant material and planting locations prior to planting.
40. Deliver plant material only in quantities that can be planted the same day.
41. Plant material to be stored in a shady location on the site until planting.
42. Water all plant material immediately after planting.
43. Where no irrigation system is present, contractor to provide sufficient manual watering for establishment of trees, shrubs and perennials.
44. Where no irrigation system is present, contractor to provide one Treegator Original (deciduous trees) or Treegator Jr. PRO (coniferous trees) slow-release watering bag for trees planted in the months of June, July, or August. Bags to be filled with water 1-2 times per week for the duration of the first growing season and to be removed at the end of the growing season.
45. All planting beds to be mulched with min. 15mm shredded pine bark mulch (Gro-Bark or approved equal).
46. Obtain approval for substitutions as to variety, size or grade from the Landscape Architect.
47. All T-bars are to be removed at the conclusion of the guarantee period.
48. The contractor is responsible for locations of all underground services prior to excavation of tree pits and shrub beds.

- PLANTING SOIL**
49. Planting soil mixture to consist of:
    - 2 parts friable sandy loam topsoil as per specification below.
    - 1 part leaf and yard compost as per organic matter specification below.
    - 1 part aged pine bark as per organic matter specification below.
    - Bone meal - 0.04kg per cubic meter of soil.
    - Final mixture pH 6.0-15
    - Final mixture organic matter content 15% by weight. Final mixture shall meet similar particle size distribution as original sandy loam topsoil. All particles in the final mixture shall be less than 12.7mm in its smallest dimension and 50mm in its largest dimension. Amend with nutrients as per laboratory recommendations.
  50. Sandy Loam Topsoil
    - Light to dark brown, friable sandy loam soil consisting of: 55-60% sand by dry weight, 30% silt by dry weight, 10-15% clay by dry weight
    - Note: sand, silt and clay sum to 100%
  51. Organic Matter
    - The following specifications for organic matter materials shall be met:
      - Leaf and Yard Waste Compost
        - Derived from well composted leaf and yard waste.
        - Meets the Ministry of Environment's Ontario Compost Quality Standards for category AA compost.
        - pH: 7.0 to 9.0
        - EC: less than 4.5 mS/cm
        - Organic Matter Content (dry weight): ≥ 45%

- Aged Pine Bark**
- Shall consist of a minimum of 98% pine, containing very little wood fibre (less than 10%). Shall not be a blend of wood or sawdust.
  - Aged pine bark shall be processed through a managed aging process.
  - Bark must be composted to a chocolate brown-black colour and not orange-red.
  - pH: less than 4.5
  - EC: less than 2.8
  - Organic Matter Content: ≥ 80% by weight
  - Size Gradation:
    - Minimum 95% less than 19mm
    - Minimum 50% less than 6.35mm
  - Contractor to provide SGS Topsoil analysis of the final planting soil mixture to confirm the final composition and pH prior to delivery to the site.

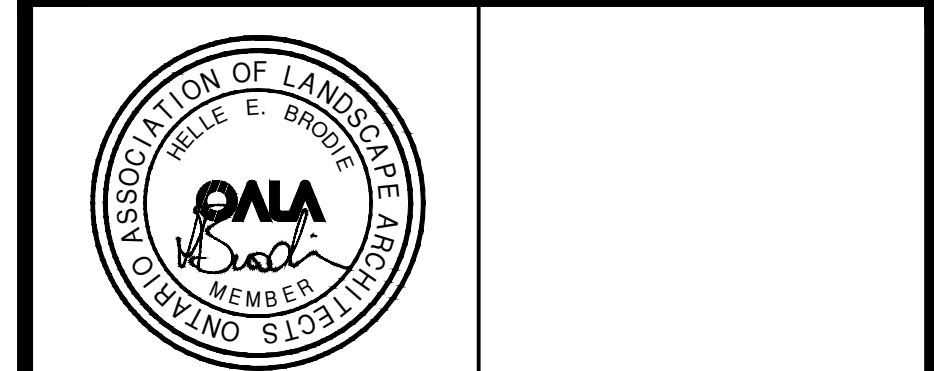
- SEED SPECIFICATION**
52. Naturalization seed mixture to be 'CVC #1 - Upland Native Meadow Mix' by Credit Valley Conservation Seed Mixes or approved equal. Mixture contains:
    - 10% Black Eyed Susan (*Rudbeckia hirta*)
    - 10% Blue Wood (Heart Leaved Aster) (*Aster cordifolius*)
    - 1% Canada Anemone (*Anemone canadensis*)
    - 2% Canada Goldenrod (*Solidago canadensis*)
    - 2% Common Milkweed (*Asclepias syriaca*)
    - 25% Evening Primrose (*Oenothera biennis*)
    - 1% Grass Leaved Goldenrod (*Euthamia graminifolia*)
    - 15% Meadow/Open Field Sedge (*Carex granularis*)
    - 1% New England Aster (*Aster novae-angliae*)
    - 40% Riverbank Wild Rye (*Elymus riparius*)
    - 1% Virgins Bower (*Clematis virginiana*)
    - 1% Wild Bergamot (*Monarda fistulosa*)

- Seed at a rate of 25kg per hectare.
53. For installation before October 15th Annual Oats (*Avena sativa*) to act as a nurse crop planted at 22kg per hectare. For installation between October 15th and late November, buckwheat (*Fagopyrum esculentum*) to act as a nurse crop planted at 22kg per hectare.

- GUARANTEE:**
54. All materials and workmanship to be guaranteed for one full year from substantial performance.
  55. Neither the final certificate or payment thereunder or any provision of the Contract Documents shall relieve the Landscape Subcontractor from responsibility for faulty materials or workmanship which appear within a period of one (1) year from the date of acceptance of the work by the Landscape Architect and governing authorities.
  56. The Landscape Subcontractor shall remedy any defects due hereto and pay for any damage to other work resulting therefrom, within a period of one year. All plant materials used as replacement for unacceptable plant materials shall be of the same quality and requirements prescribed for original materials.
  57. The costs of replacement during the warranty period resulting from theft, vandalism, carelessness or neglect on the part of others, or any causes due to circumstances beyond the control of the Landscape Subcontractor shall be borne by the Owner.

No.	Date	Revision	By
4	Nov. 9, 2018	Drawing Coordination	NW
3	May 4, 2018	Issued For Coordination	NW
2	Dec. 5, 2017	CVC Comments - Plant List	NW
1	Oct. 30, 2017	Re-issued for SFA	NW
	Jan. 25, 2017	Issued For Coordination	NW

Client: 2500149 Ontario Inc.



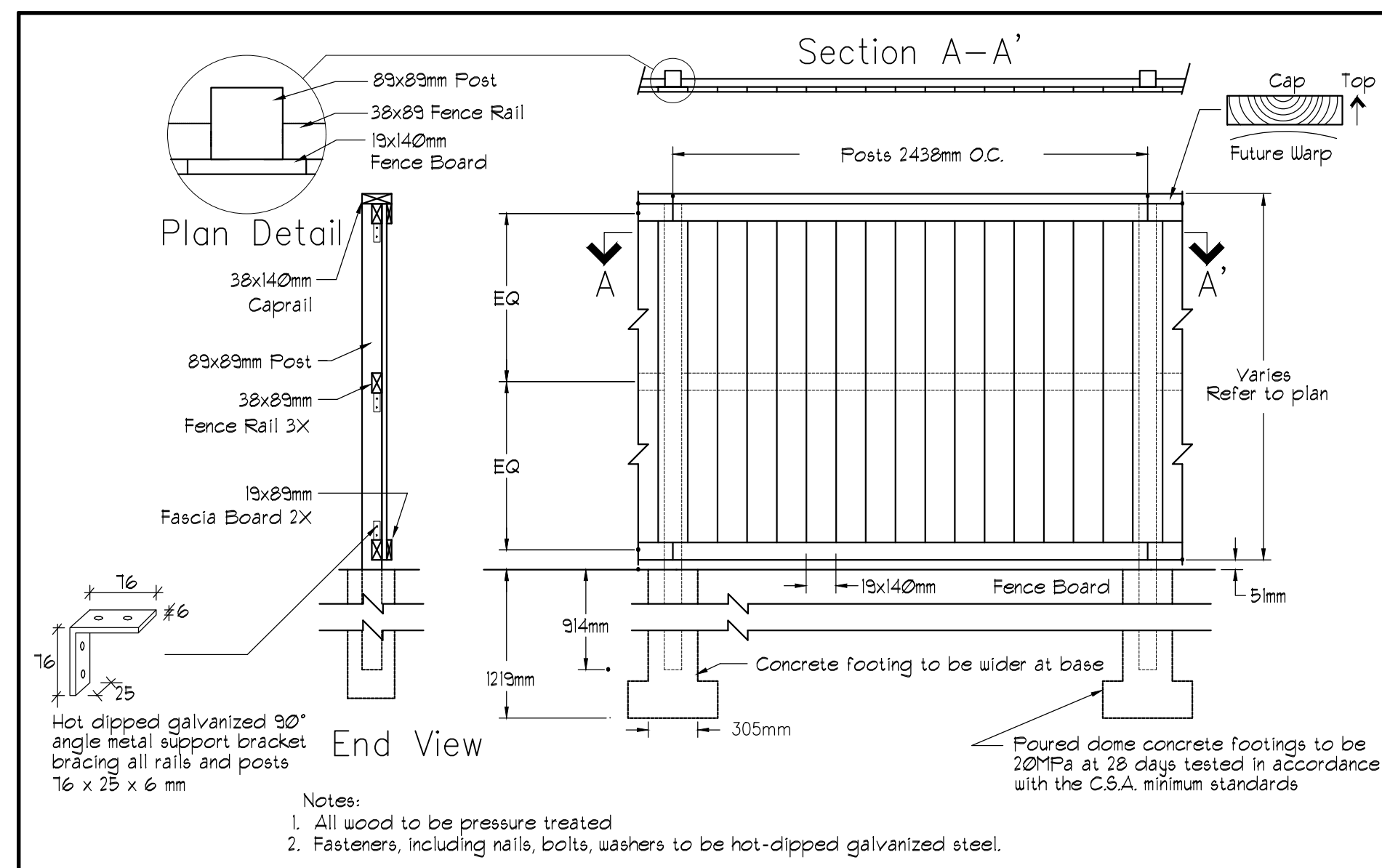
**Brodie & Associates**  
LANDSCAPE ARCHITECTS INC.

349 Carlaw Avenue, Suite 202, Toronto, Ontario M4M 2T1  
Tel. (416) 778-7876 • Fax (416) 778-7874  
e-mail: design@brodie.on.ca

Project: 15-19 Centre Street

19 Centre Street  
Orangeville, ON L9W 2W9

Title: Planting Details	
Scale: As Noted	Date: January 2017
Designed: -	Drawn: NW
Job No.: 16-43	Drawing No.: L-2



7 - Timber Board Fence Detail

N.T.S.



**TREGATOR® ORIGINAL**  
SLOW RELEASE WATERING BAG  
FOR SHADE TREES

- BENEFITS:**
- Ideal for newly planted shade or street trees.
  - Reduces transplant and drought shock.
  - 100% water absorption with no run-off.
  - Install and fill in minutes with no tools required.
  - Deep water saturation with every fill.
  - Fill just 1 to 2 times per week, or as needed.\*\*
  - Promotes deep root growth.
  - Non-invasive design will not harm existing landscape.
  - Can be used with nutrient / chemical additives.\*\*
  - Zip multiple bags together to accommodate large trees.
  - Made in the U.S.A. with a 5-year limited warranty.
- \*\*REFER TO WATERING CAPACITY / FREQUENCY CHART SHOWN BELOW

**DESCRIPTION:**  
If you plant shade trees, you need a Tregator® Original Slow Release Watering Bag! Golf courses, parks, cities, nurseries, landscapers, DOT's, resorts and homeowners all love its simple, affordable patented tree watering technology. Makes anyone a watering professional. Perfect for newly planted or established trees up to 8" in caliper, with branches beginning at least 25 inches from the ground or higher. Save time, water, effort and trees!

**SPECS:**  
Single bag fits min. 1 inch to max. 4 inch caliper tree with branches at least 25" from the ground or higher.  
Use a Double Bag setup (2 single bags zipped together back-to-back) to water 4 inch to 8 inch caliper trees.  
Made of green polyethylene with nylon webbing, black polyprop straps and green nylon zippers.  
2 water release points per bag.  
Bag is empty in approximately 5 to 9 hours.  
UV stabilized to withstand exposure to sunlight.  
Fill opening fits up to 3" diameter hose.

**DIRECTIONS FOR USE:**  
Place around tree trunk, with the zippers on uphill side of tree. Wrap both sides around trunk until zippers meet and zip together from bottom to top.  
Lift tag to expose fill opening at top of bag.  
Insert hose into fill opening and begin filling with water. Fill bag to 1/4 capacity.  
Gently lift up on straps at top of bag to expand bottom. Fill to desired level and let empty.  
Continuously waters for approximately 5 to 9 hours.

**MEASUREMENTS:**  
Full - 30" tall x 18" wide (at base)

**WATERING CAPACITY / FREQUENCY CHART:**

Tregator® Original Bag Setup	Trunk Caliper (diameter)	Approx. Water Capacity (per single bag)	Recommended Fills per Week
Single Bag Setup	1 to 2 inch (3 to 5 cm)	15 gallons (56.78 liters)	1 Fill per Week
Single Bag Setup	2 to 3 inch (5 to 8 cm)	14.75 to 14.25 gallons (55.84 to 53.94 liters)	2 Fills per Week
Double Bag Setup*	0.00 inch (standalone)	25 gallons (94.63 liters)	Varies based on application
Double Bag Setup*	4 to 5 inch (10 to 13 cm)	23.50 gallons (89.25 liters)	1 Fill per Week
Double Bag Setup*	5 to 8 inch (13 to 20 cm)	22.75 to 21.5 gallons (86.11 to 81.38 liters)	2 Fills per Week

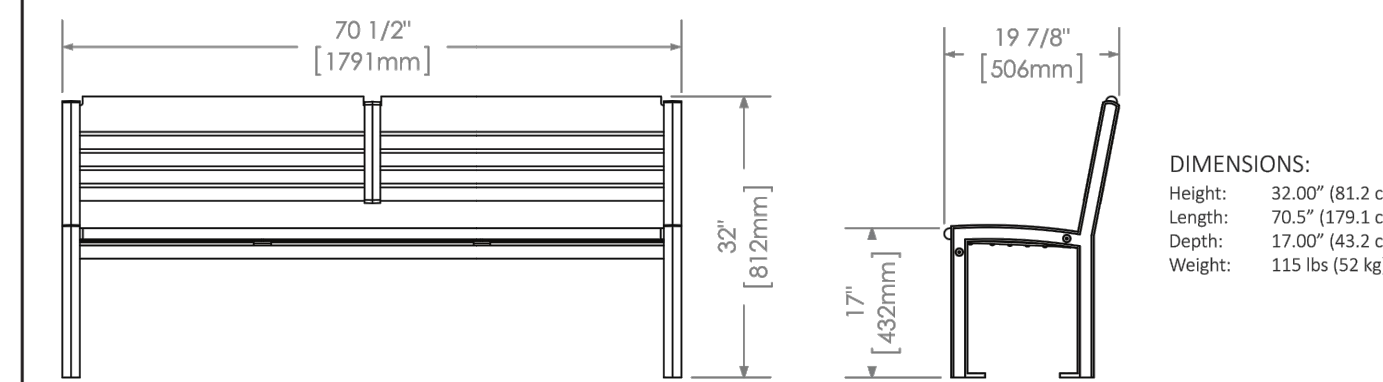
\*Double Bag setup is two (2) single Tregator® Original bags zipped together back-to-back.  
\*When watering older established trees with fully developed root systems, a Double Bag setup can also be used as a stand-alone watering solution (i.e. not wrapped around a trunk)

8 - Tregator Bags

**MLB720-W BENCH**



**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs 1.38" x 1.5" (3.5 cm x 3.8 cm) and 1.38" x 4.00" (3.5 cm x 10.2 cm) ipe slats.  
**FINISH:** The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
**INSTALLATION:** The bench is delivered pre-assembled. Holes (0.5") are provided in each foot for securing to base.  
**TO SPECIFY:** Select MLB720-W  
Choose:  
- Powdercoat Color  
**OPTIONS:**  
- Plaque  
- Skate Deterrent



**DIMENSIONS:**  
Height: 32.00" (81.2 cm)  
Length: 70.5" (179.1 cm)  
Depth: 17.00" (43.2 cm)  
Weight: 115 lbs (52 kg)



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F: 877-2869-3903  
WWW.MAGLIN.COM  
SALES@MAGLIN.COM

9 - Bench

No.	Date	Revision	By
4	Nov. 9, 2018	Drawing Coordination	NW
3	May 4, 2018	Issued For Coordination	NW
2	Dec. 5, 2017	CVC Comments - Plant List	NW
1	Oct. 30, 2017	Re-issued for SFA	NW
	Jan. 25, 2017	Issued For Coordination	NW

Client: 2500149 Ontario Inc.



**Brodie & Associates**  
LANDSCAPE ARCHITECTS INC.

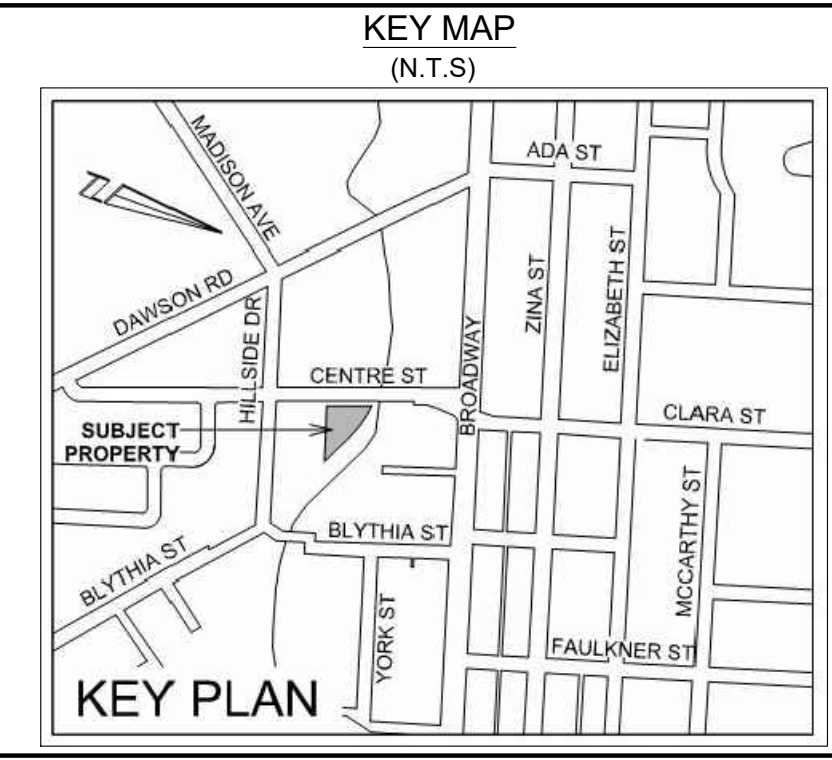
349 Carlaw Avenue, Suite 202, Toronto, Ontario M4M 2T1  
Tel. (416) 778-7876 \* Fax (416) 778-7874  
e-mail: design@brodie.on.ca

Project:  
15-19 Centre Street  
  
19 Centre Street  
Orangeville, ON L9W 2W9

Title: Details

Scale: As Noted	Date: January 2017
Designed: -	Drawn: NW
Job No.: 16-43	Drawing No.: L-3

# ATTACHMENT 4



**LEGEND**

● HP	HYDRO POLE	○ DET 1	DETAIL REFERENCE
— UTEL —	UNDERGROUND TELEPHONE	□	SURVEY MONUMENT FOUND
— OH —	OVERHEAD HYDRO	■	SURVEY MONUMENT SET
— UH —	UNDERGROUND HYDRO	— IB —	IRON BAR
— GAS —	GAS LINE	— ST —	STORM SEWER
— SAN —	SANITARY SEWER	— W —	WATERMAIN
— UC —	UNDERGROUND CABLE	— X —	FENCE
+ 325.09	EXISTING GRADE	+ (325.09)EX	VHS APPROXIMATE GRADE
+ (325.09)	VHS PROPOSED GRADE	+ (325.09)	VHS PROPOSED GRADE
+ (326.31)T/C	PROPOSED TOP OF CURB	+ (326.22)T/W	PROPOSED TOP OF WALL
+ (326.22)B/W	PROPOSED BOTTOM OF WALL	○	DECIDUOUS TREE
3:1 MAXIMUM SLOPE		○	CONIFEROUS TREE
→	DIRECTION OF FLOW	□	CATCH BASIN
→	MAJOR STORM OVERLAND FLOW ROUTE	○	MH MANHOLE
		— W —	WATER VALVE
		— B —	BOLLARD
		— S —	SILT FENCE
		○	MW MONITORING WELL

**BENCHMARK:**  
ELEVATIONS ARE BASED ON GPS OBSERVATIONS TO PERMANENT REFERENCE STATIONS AND HAVE BEEN CORRECTED TO ORTHOMETRIC ELEVATIONS WITH GEOID MODEL HT-2, AS SUPPLIED BY NATURAL RESOURCES CANADA.

NO.	DESCRIPTION	DATE
11	AS PER TREE PROTECTION PLAN	MAMV NOV 8-18
10	TOWN PUBLIC WORKS COMMENTS	MAMV OCT 26-18
9	TOWN PUBLIC WORKS/CVC COMMENTS	MAMV JUL 12-18
8	FLOODLINE / EROSION HAZARD	MAMV JUL 9-18
7	REVISED SITE PLAN	MAMV MAY 3-18
6	TOWN/CVC COMMENTS	MAMV APR 11-18
5	THIRD SUBMISSION	MAMV NOV 2-17
4	TOWN/CVC COMMENTS	MAMV AUG 31-17
3	SECOND SUBMISSION	MAMV JUL 27-17
2	INITIAL SUBMISSION	MAMV JAN 24-16
1	PRELIMINARY - FOR DISCUSSION	MAMV JAN 9-16
		BY DATE

**PROPOSED BUILDING**  
**PART OF LOT 5**  
**REGISTERED PLAN No. 170**  
**TOWN OF ORANGEVILLE**  
**COUNTY OF DUFFERIN**

PROJECT No. 23309-15  
DRAWING SCALE 1 : 250

**METRIC:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**GRADING PLAN**

SHEET 1 OF 5

PREPARED FOR:  
**2500149 ONTARIO INC.**

**Van Harten**  
SURVEYING INC.  
LAND SURVEYORS and ENGINEERS

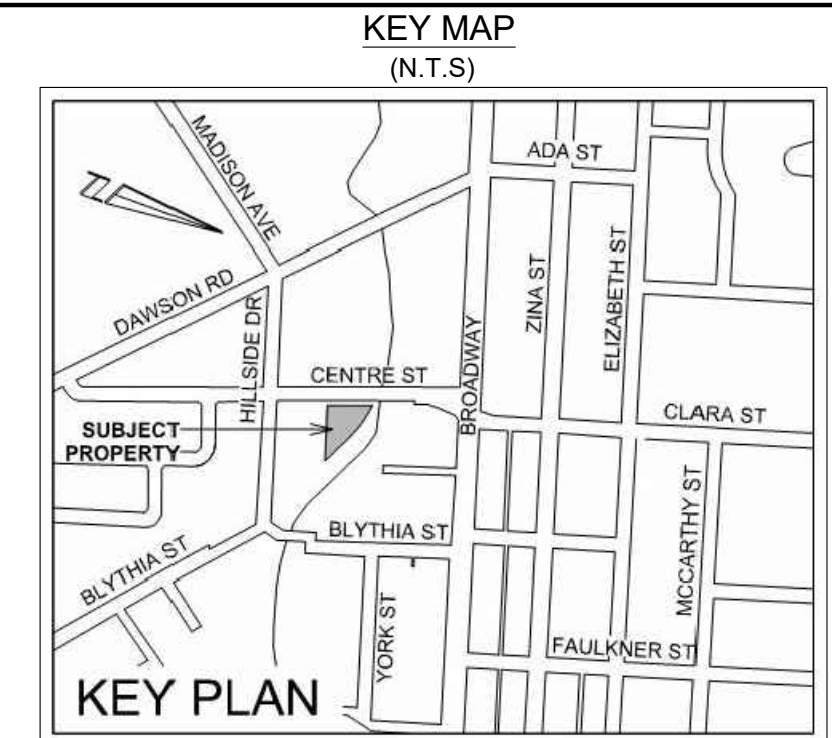
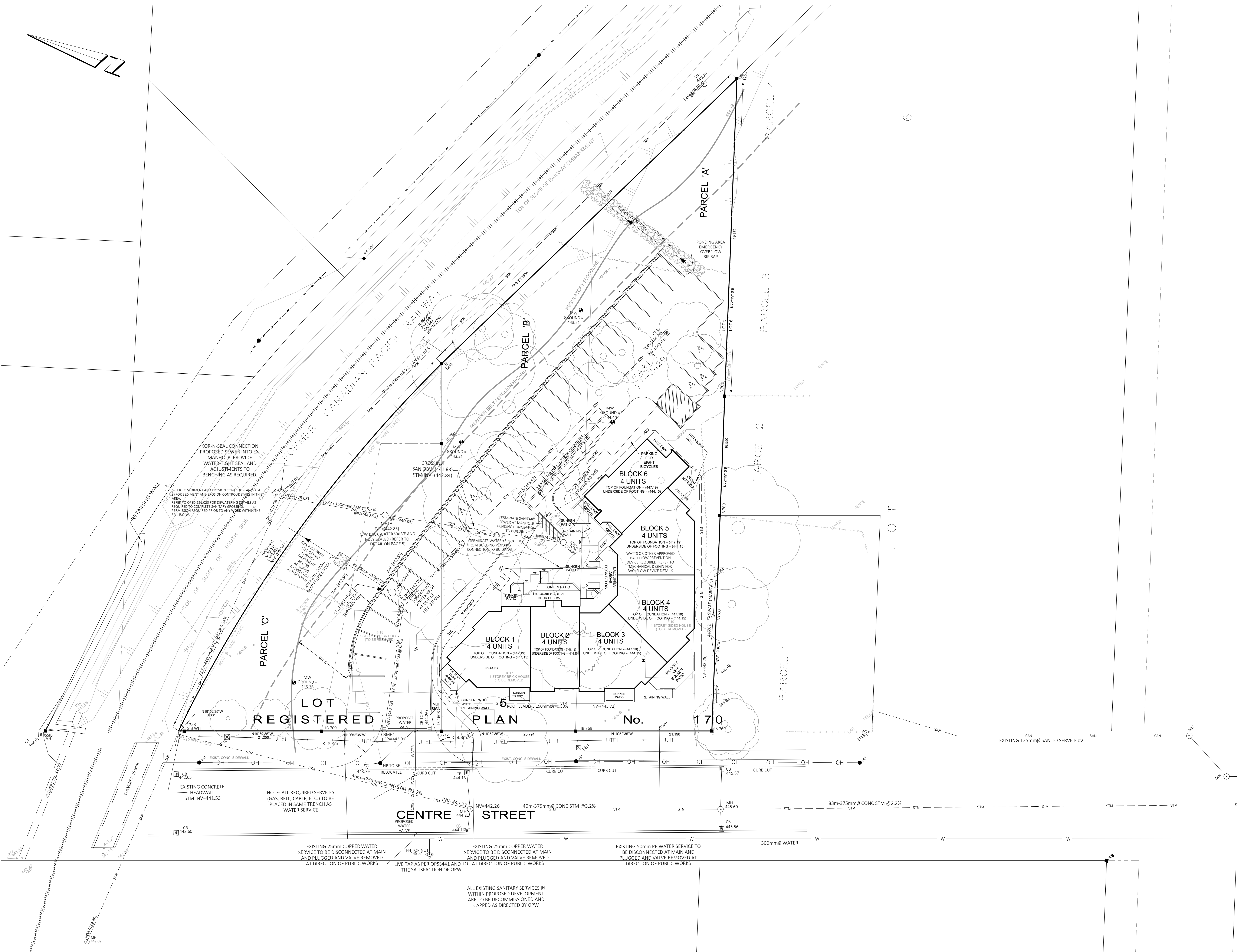
Elmira Ph: 519-669-5070	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
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**LEGEND**

- HP HYDRO POLE
- UTEL UNDERGROUND TELEPHONE
- OH OVERHEAD HYDRO
- UHL UNDERGROUND HYDRO
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- ST STORM SEWER
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- 3:1 MAXIMUM SLOPE
- DIRECTION OF FLOW
- DET 1 DETAIL REFERENCE
- SURVEY MONUMENT FOUND
- SURVEY MONUMENT SET
- IB IRON BAR
- SIB STANDARD IRON BAR
- IBØ ROUND IRON BAR
- HM HYDRO METER
- BELL BELL PEDESTAL
- CATV TV PEDESTAL
- FR FIRE HYDRANT
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**PROJECT No. 23309-15**  
**DRAWING SCALE 1 : 250**

**METRIC:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SERVICING PLAN**

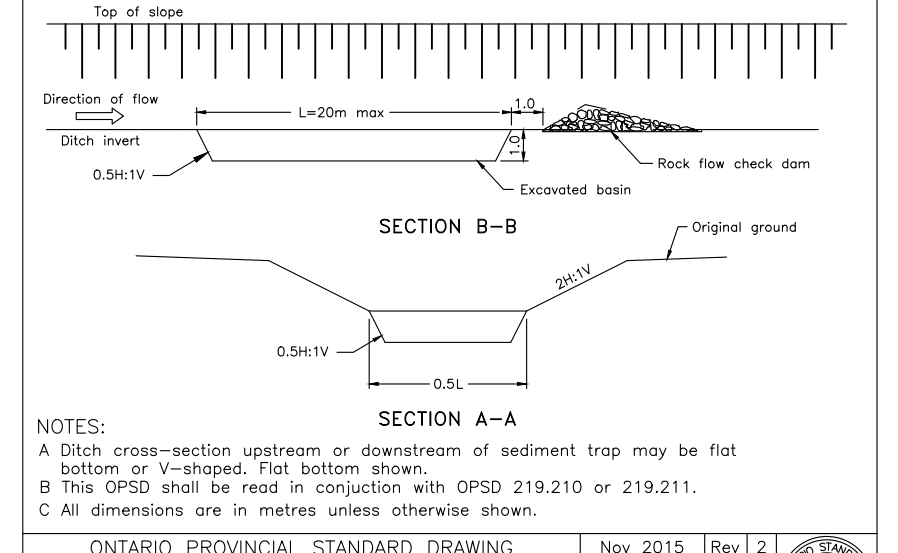
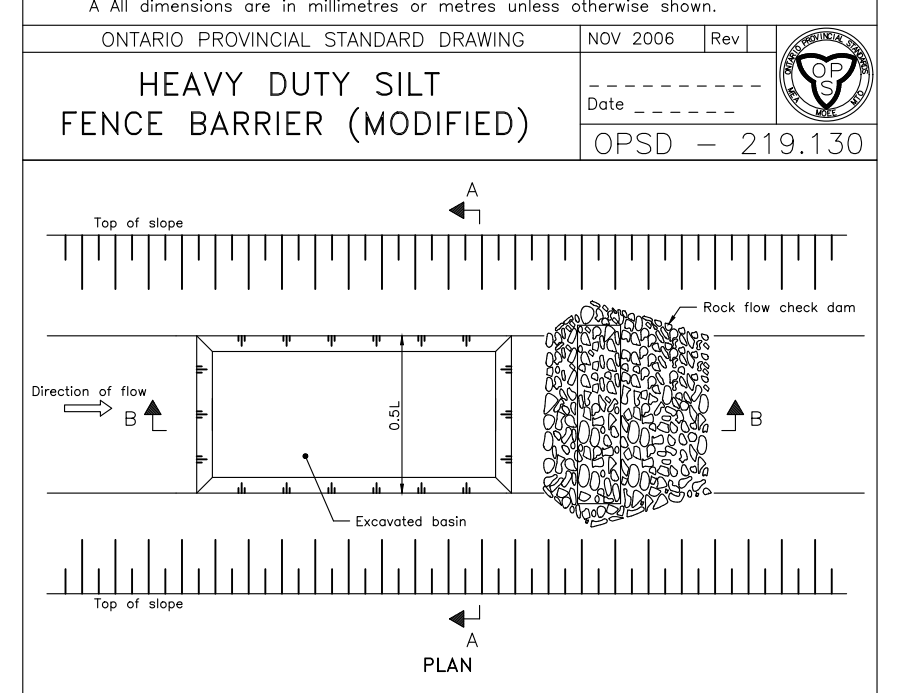
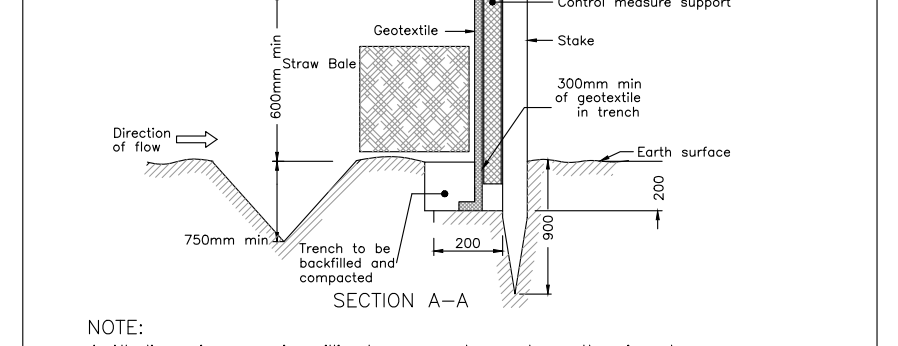
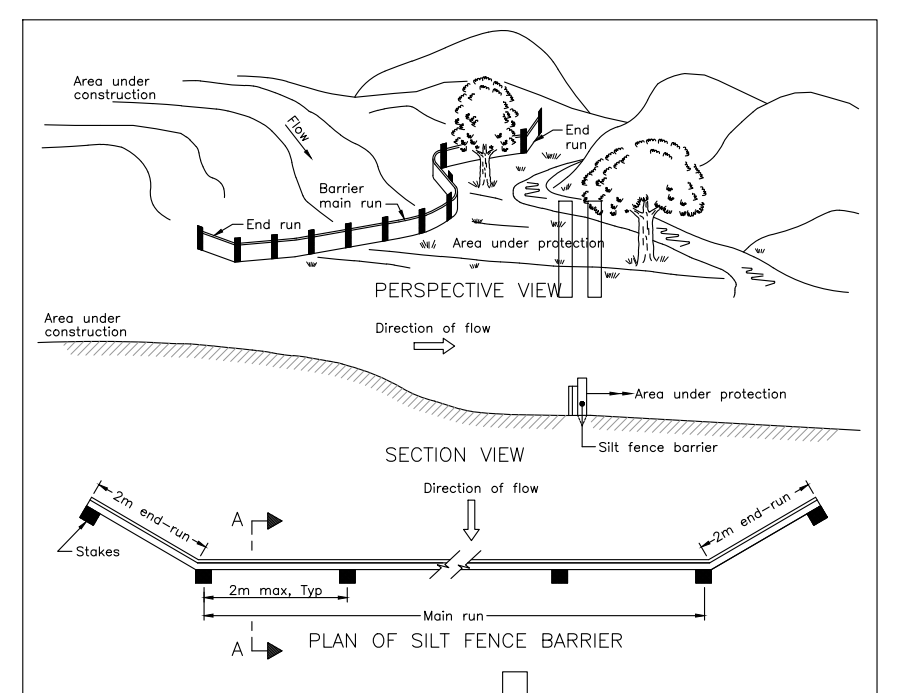
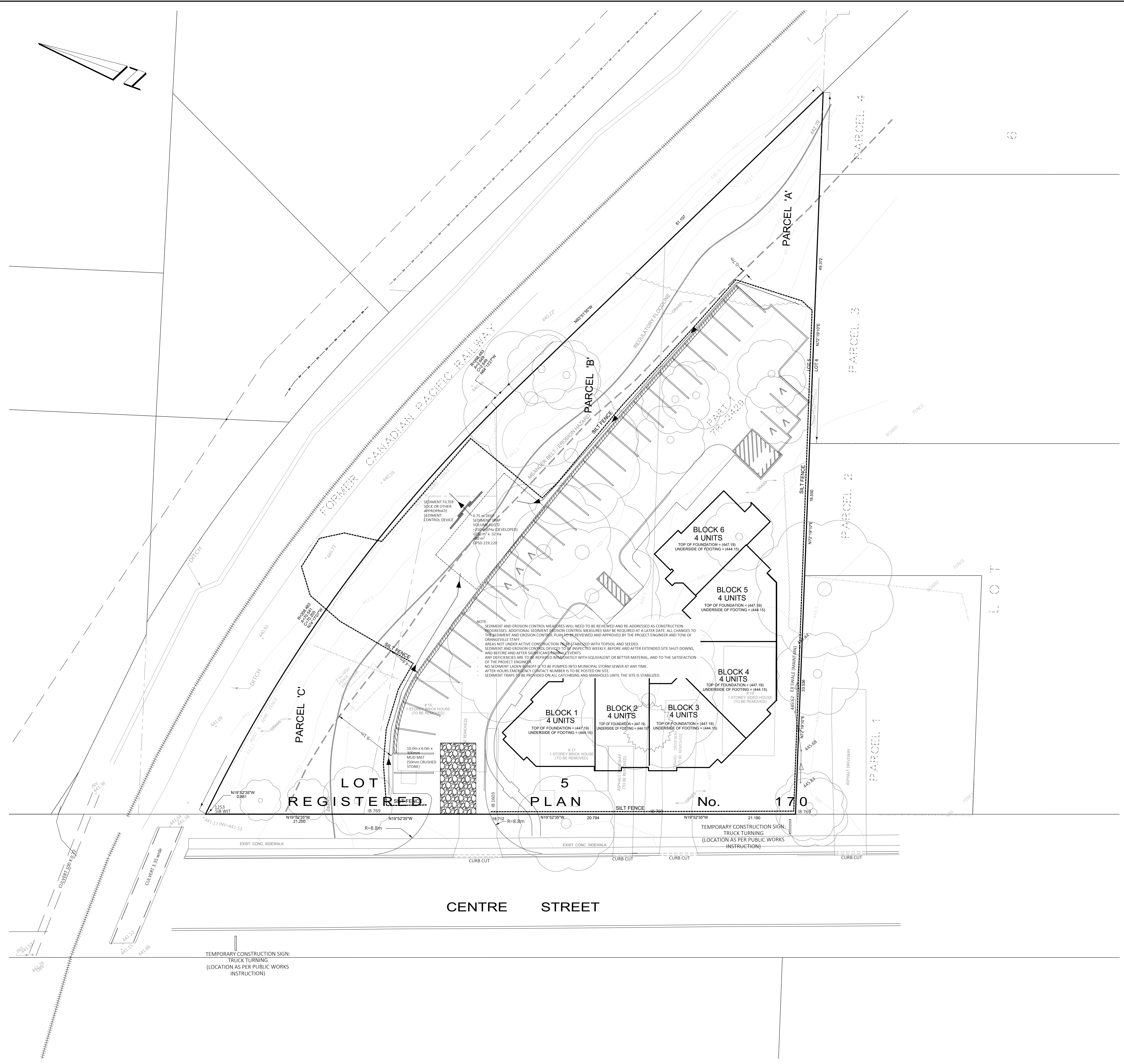
**SHEET 2 OF 5**

**PREPARED FOR:**  
**2500149 ONTARIO INC.**

**Van Harten SURVEYING INC.**  
LAND SURVEYORS and ENGINEERS

Elmira Ph: 519-669-5070 Guelph Ph: 519-821-2763 Orangeville Ph: 519-940-4110  
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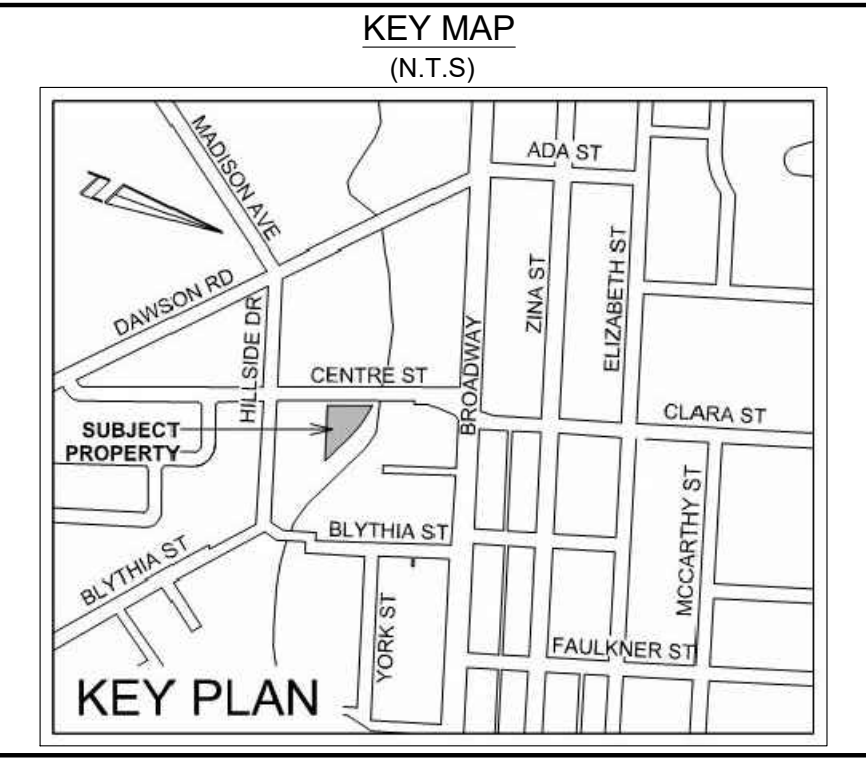
NOTES:  
 A. Ditch cross-section upstream or downstream of sediment trap may be flat bottom or V-shaped. Flat bottom shown.  
 B. This OPSD shall be read in conjunction with OPSD 219.210 or 219.211.  
 C. All dimensions are in metres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING NOV 2015 [Rev 2]  
**HEAVY DUTY SILT FENCE BARRIER (MODIFIED)**  
 OPSD - 219.130

ONTARIO PROVINCIAL STANDARD DRAWING NOV 2015 [Rev 2]  
**SEDIMENT TRAP IN DITCH**  
 OPSD 219.220

**SEDIMENT AND EROSION CONTROL**

1. ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING OR EXCAVATING.
2. EROSION PROTECTION TO BE PROVIDED AROUND ALL SWALES AND DITCHES.
3. SEDIMENT TRAPS WILL BE REQUIRED IN ALL CATCHBASINS AND MANHOLES ON SITE UNTIL THE SITE IS STABILIZED.
4. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL STRUCTURES.
5. EROSION CONTROL STRUCTURES ARE TO BE MONITORED ON A WEEKLY BASIS, BEFORE AND AFTER SIGNIFICANT RAINFALL EVENTS. ANY DAMAGE TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENTS ARE TO BE REMOVED WHEN THE HEIGHT OF ACCUMULATION REACHES A MAXIMUM FOR THE FENCE AND THE CLOGGED FILTER MATERIALS MUST BE REPLACED AS NEEDED OR AS REQUESTED BY THE TOWN, PROJECT ENGINEER OR CVC.
6. SETTLING POOL AND SEDIMENT TRAPS ARE TO BE INSPECTED REGULARLY AND ACCUMULATED SEDIMENT REMOVED AS REQUIRED OR AS DIRECTED.
7. INSPECTIONS OF THE INSTALLED ESC DEVICES WILL BE CARRIED OUT TO DETERMINE THE ADEQUACY OF THESE DEVICES AND TO ENSURE THEY CONTINUE TO WORK AS INTENDED.
8. ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
9. DE-WATERING WILL NOT BE PERMITTED DURING CONSTRUCTION. SHOULD DE-WATERING BE REQUIRED, A SEPARATE PLAN AND APPROVAL FROM THE CVC SHALL BE OBTAINED.
10. NO ALTERNATIVE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE DESIGN CONSULTANT AND THE TOWN OF ERIN.
11. ALL AREAS NOT UNDER ACTIVE CONSTRUCTION TO BE STABILIZED WITH TOPSOIL AND SEED OR SOODED.
12. THE CONTRACTOR IS TO ENSURE THE SILT FENCING IS FUNCTIONING AS INTENDED.
13. ANY DAMAGED ESC MEASURES ARE TO BE REPLACED IMMEDIATELY WITHIN 48 HOURS OF INSPECTION. SEDIMENT TO BE REMOVED FROM THE SEDIMENT BARRIER ONCE IT HAS REACHED A DEPTH OF 300 mm. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO REMOVING THE SILT FENCING.
14. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING MUNICIPAL ROADWAYS AND SIDEWALKS ARE CLEANED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORKING DAY.
15. GRANTING OF CVC PERMIT DOES NOT ABSOLVE THE PROPONENT/APPLICANT AND ITS ASSIGNED AGENTS FROM ITS/THEIR RESPONSIBILITIES TO COMPLY WITH ALL APPLICABLE MUNICIPAL BY-LAWS AND PART X (SPILLS) OF THE ENVIRONMENTAL PROTECTION ACT, R.S.O., 1990.
16. BE ADVISED THAT THE CREDIT VALLEY CONSERVATION AUTHORITY MAY, AT ANY TIME, WITHDRAW THIS PERMISSION, IF, IN THE OPINION OF THE AUTHORITY, THE CONDITIONS OF THE PERMIT ARE NOT BEING COMPLIED WITH. THIS APPROVAL DOES NOT EXEMPT THE PROPERTY OWNER/APPLICANT/AGENT FROM THE PROVISIONS OF AND OTHER FEDERAL, PROVINCIAL OR MUNICIPAL STATUTES, REGULATIONS OR BY-LAWS, OR ANY RIGHTS UNDER COMMON LAW.
17. FOLLOWING INSTALLATION OF THE PROPOSED ESC MEASURES, A QUALIFIED AGENT OF THE PROPONENT, PREFERABLY AN ENVIRONMENTAL MONITOR, WILL CONDUCT REGULAR SITE VISITS TO MONITOR ALL WORK, PARTICULARLY THE CONDITION OF THE ESC MEASURES, DE-WATERING, AND IN-OR NEAR-WATER WORKS. SHOULD CONCERNS ARISE, THE ENVIRONMENTAL MONITOR WILL CONTACT THE PROPONENT, CVC AND ANY OTHER APPROPRIATE PARTIES.
18. ALL CONSTRUCTION ACTIVITIES, INCLUDING MAINTENANCE PROCEDURES, WILL BE CONTROLLED TO PREVENT THE ENTRY OF DEBRIS, SEDIMENT OR OTHER DELETERIOUS SUBSTANCES IN THE WATER. EQUIPMENT MAINTENANCE WILL BE CONDUCTED A MINIMUM OF 30m FROM THE WATERCOURSE.
19. SEDIMENT LADEN RUNOFF FROM DISTURBED AREAS IS NOT ALLOWED. ALL DE-WATERING SHALL BE TREATED AND THE RELEASED AWAY FROM THE WATERCOURSE. DISCHARGE IS TO BE RELEASED TO AN UNDISTURBED NATURAL AREA. THESE CONTROL MEASURES SHALL BE MONITORED AND MAINTAINED OR REVISED TO ENSURE WATER QUALITY TARGETS ARE BEING ACHIEVED.
20. IT IS EVERYONE'S RESPONSIBILITY TO PREVENT CONSTRUCTION RELATED SEDIMENT FROM IMPACTING AQUATIC RESOURCES AND OTHER NATURAL FEATURES.
21. PLEASE REFER TO ESC GUIDELINE FOR URBAN CONSTRUCTION (DECEMBER 2006) FOR THE DESIGN AND DESIGN ALTERATION OF ESC.
22. ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (IE SILT FENCE, STRAW BALES, CLEAR STONES... ETC) ARE TO BE KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
23. THE PROJECT PROPONENT OR THEIR REPRESENTATIVE IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT AND EROSION WITHIN THE CONSTRUCTION SITE FOR THE TOTAL DURATION OF THE CONSTRUCTION.
24. ANY SEDIMENT SPILL FROM THE SITE SHOULD BE REPORTED TO MINISTRY OF ENVIRONMENT (SPILL ACTION CENTRE) AT 1-800-268-6060.
25. IF EXCESSIVE SITUATION RESULTS FROM THE CONSTRUCTION ACTIVITIES, THE ONSITE SUPERVISOR/INSPECTOR AND/OR CVC RESERVE THE RIGHT TO REQUEST ADDITIONAL ESC MEASURES WHICH WOULD BE INSTALLED PRIOR TO FURTHER CONSTRUCTION ACTIVITIES.
26. CROSSING AN ACTIVE WATERCOURSE BY EQUIPMENT, VEHICLES, PERSONNEL, ETC. IS NOT PERMITTED UNLESS APPROVED BY CVC. ALL ACCESS WORK TO SITES SHALL BE FROM EITHER SIDES OF THE WATERCOURSE.
27. ALL IN-WATER AND NEAR WATER WORKS WILL BE CONDUCTED IN THE DRY AND MUST BE STAGED WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS. PLAN THE WORK ACCORDINGLY WITH THE WEATHER FORECAST.
28. PRE-START MEETING WILL BE REQUIRED PRIOR TO ANY ACTIVITY ON SITE. ORANGEVILLE PUBLIC WORKS IS TO BE CONTACTED AT LEAST 48 HOURS IN ADVANCE OF PLANNED START DATE.
29. AFTER SEDIMENT CONTROLS ARE INSTALLED AND INSPECTED THE TOWN WILL PROVIDE INSTRUCTION TO PROCEED.



**LEGEND**

● HP	HYDRO POLE	○ DET 1	DETAIL REFERENCE
— UTEL —	UNDERGROUND TELEPHONE	■	SURVEY MONUMENT FOUND
— OH —	OVERHEAD HYDRO	□	SURVEY MONUMENT SET
— UH —	UNDERGROUND HYDRO	— IB —	IRON BAR
— GAS —	GAS LINE	— ST —	STANDARD IRON BAR
— SW —	STORM SEWER	— IBØ —	ROUND IRON BAR
— SAN —	SANITARY SEWER	— WM —	WATER MAIN
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**DRAWING REVISION SCHEDULE**

**PROPOSED BUILDING**  
**PART OF LOT 5**  
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**TOWN OF ORANGEVILLE**  
**COUNTY OF DUFFERIN**

**PROJECT No. 23309-15**  
**DRAWING SCALE 1 : 250**

**METRIC:**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SEDIMENT & EROSION CONTROL**

**SHEET 3 OF 5**

**PREPARED FOR:**  
**2500149 ONTARIO INC.**

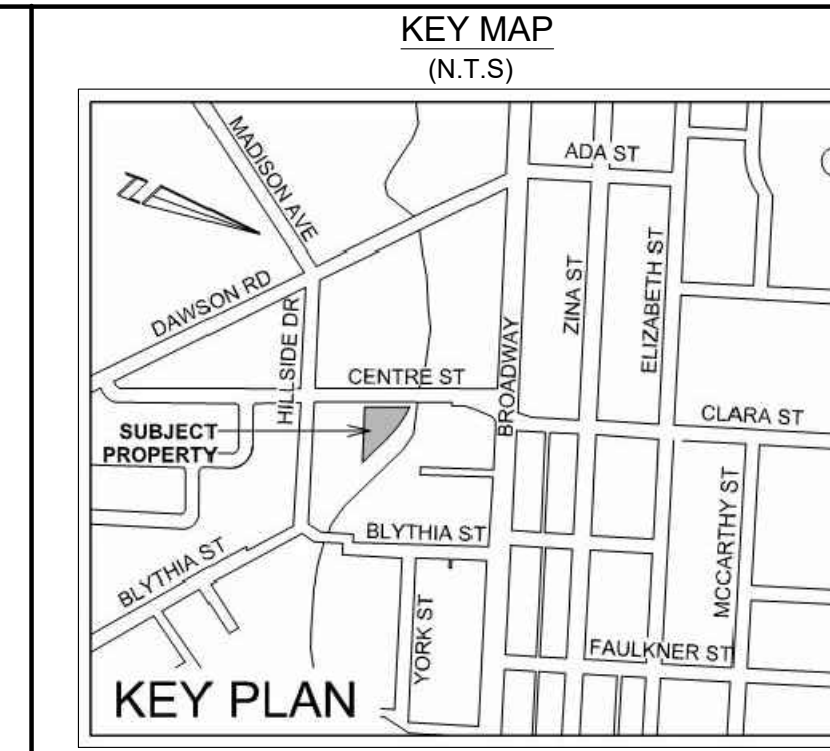
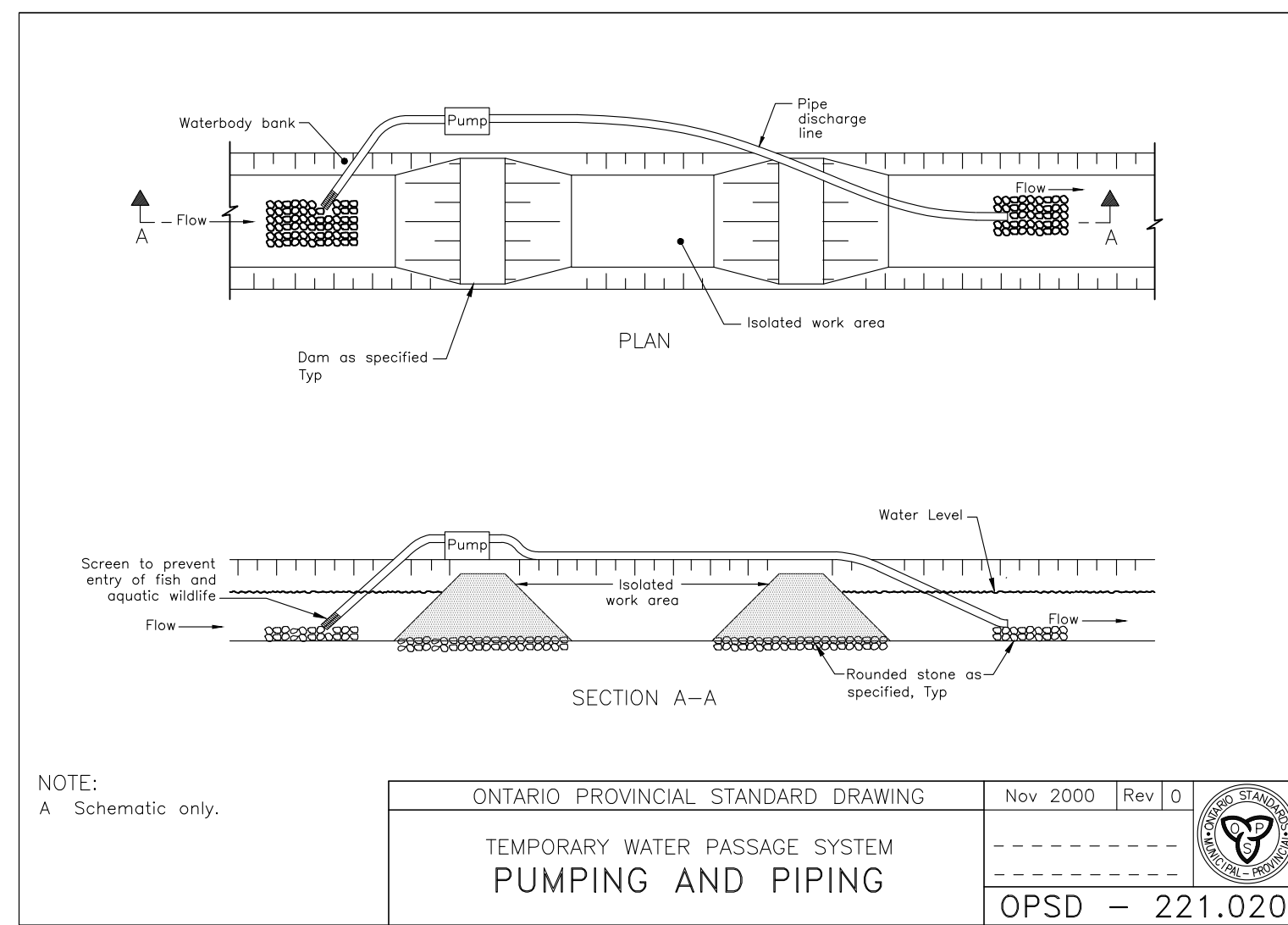
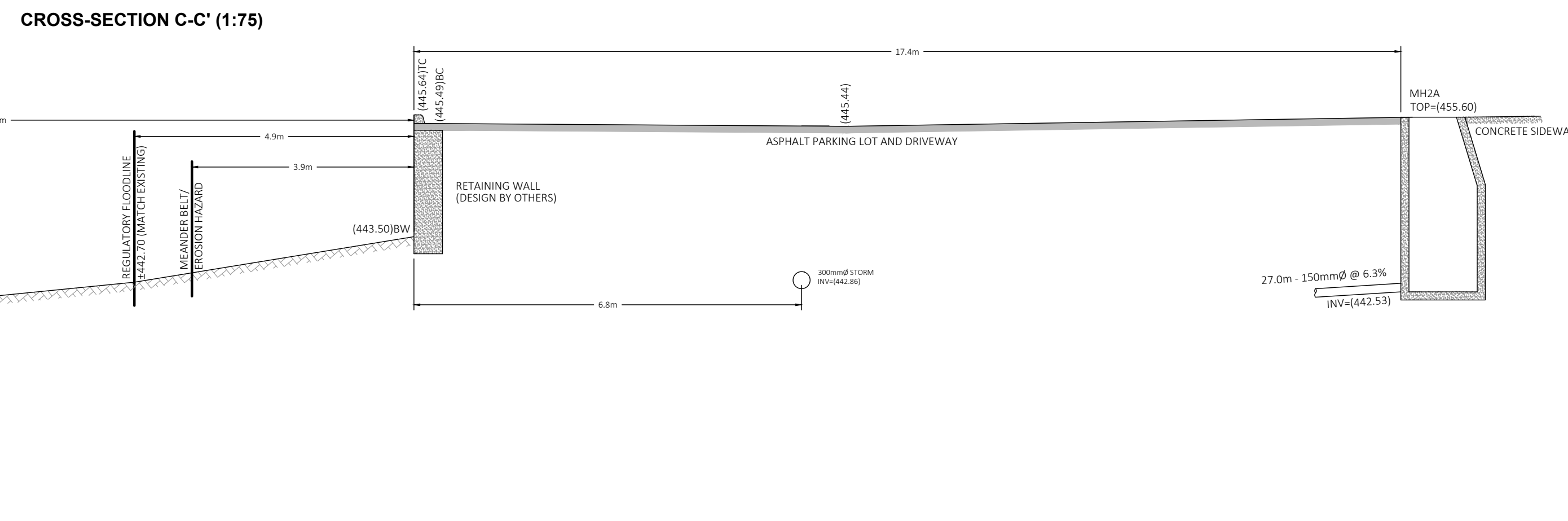
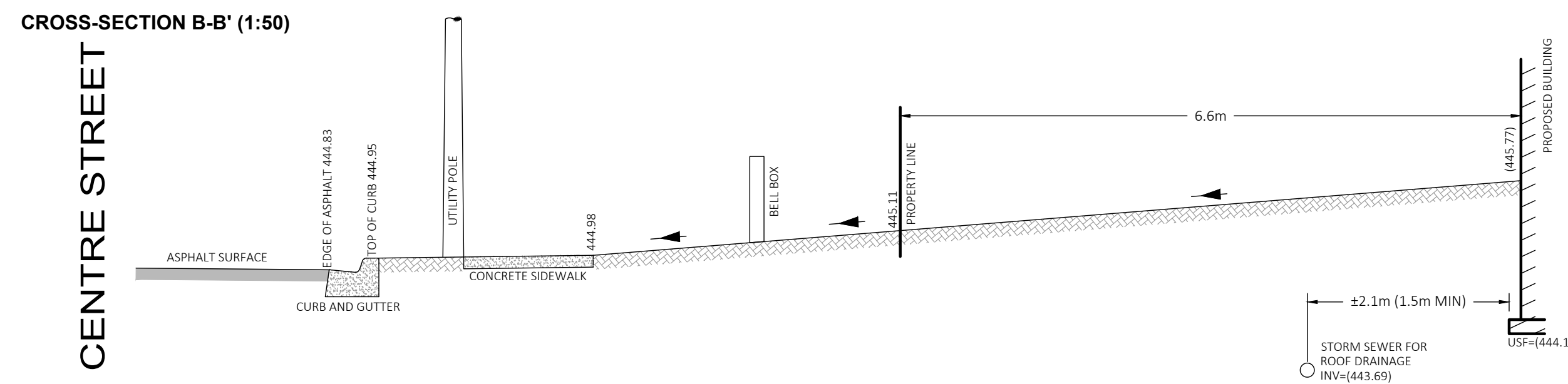
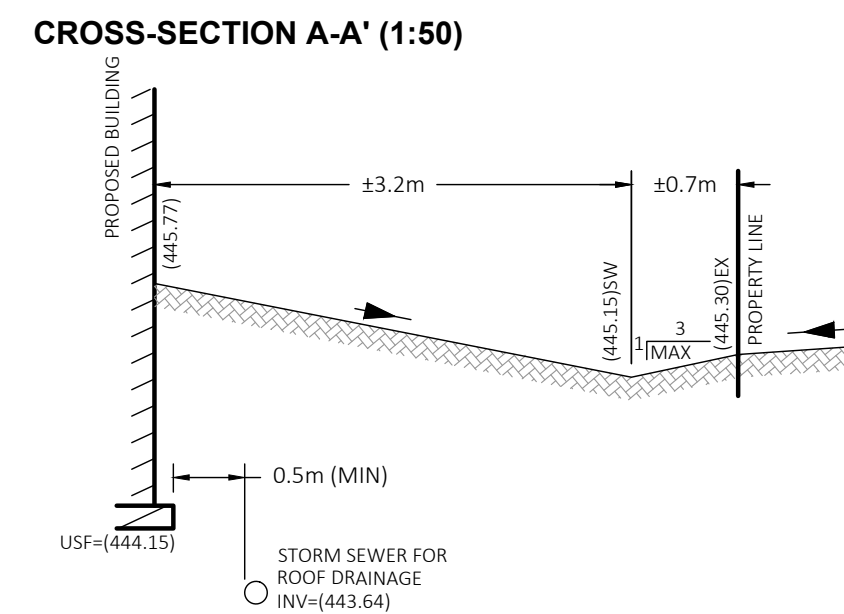
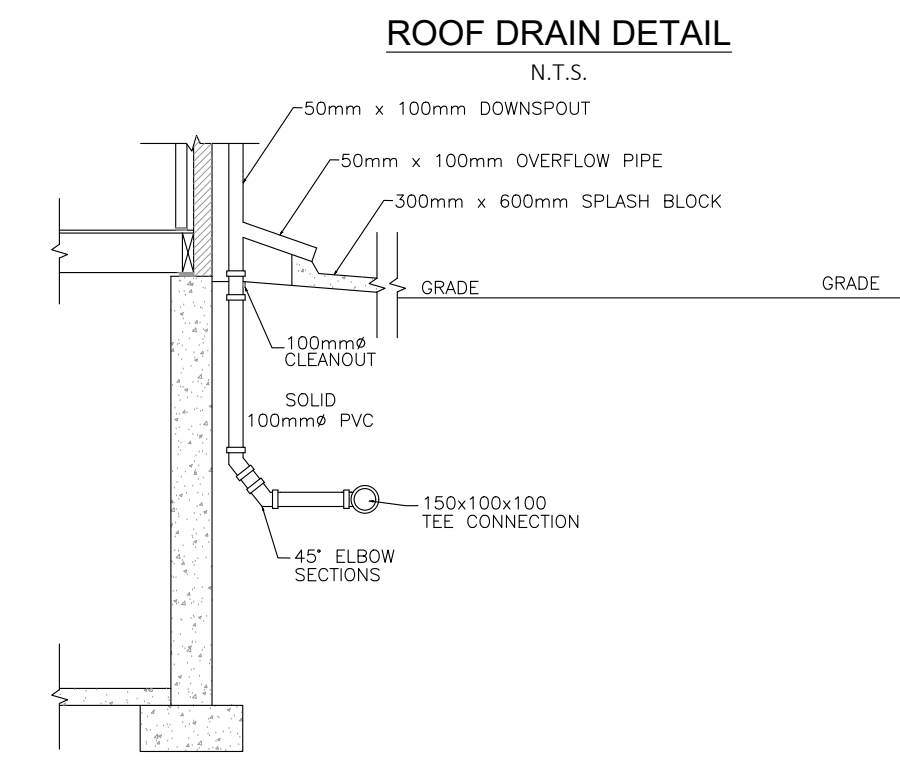
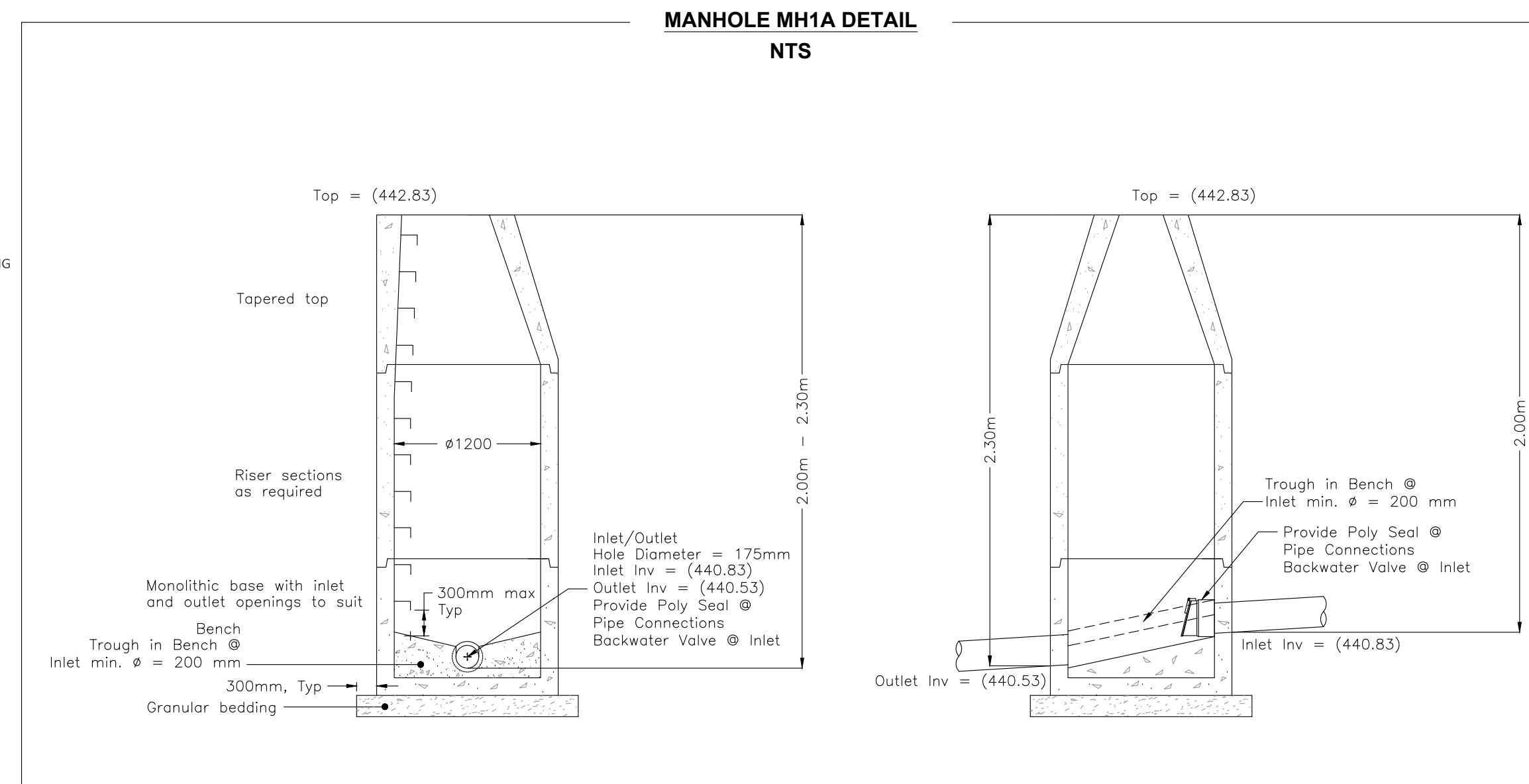
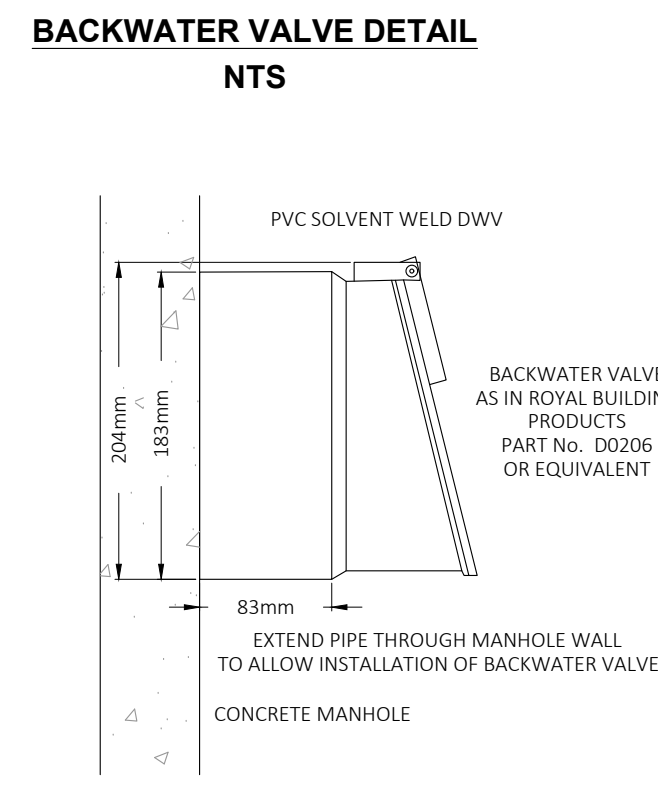
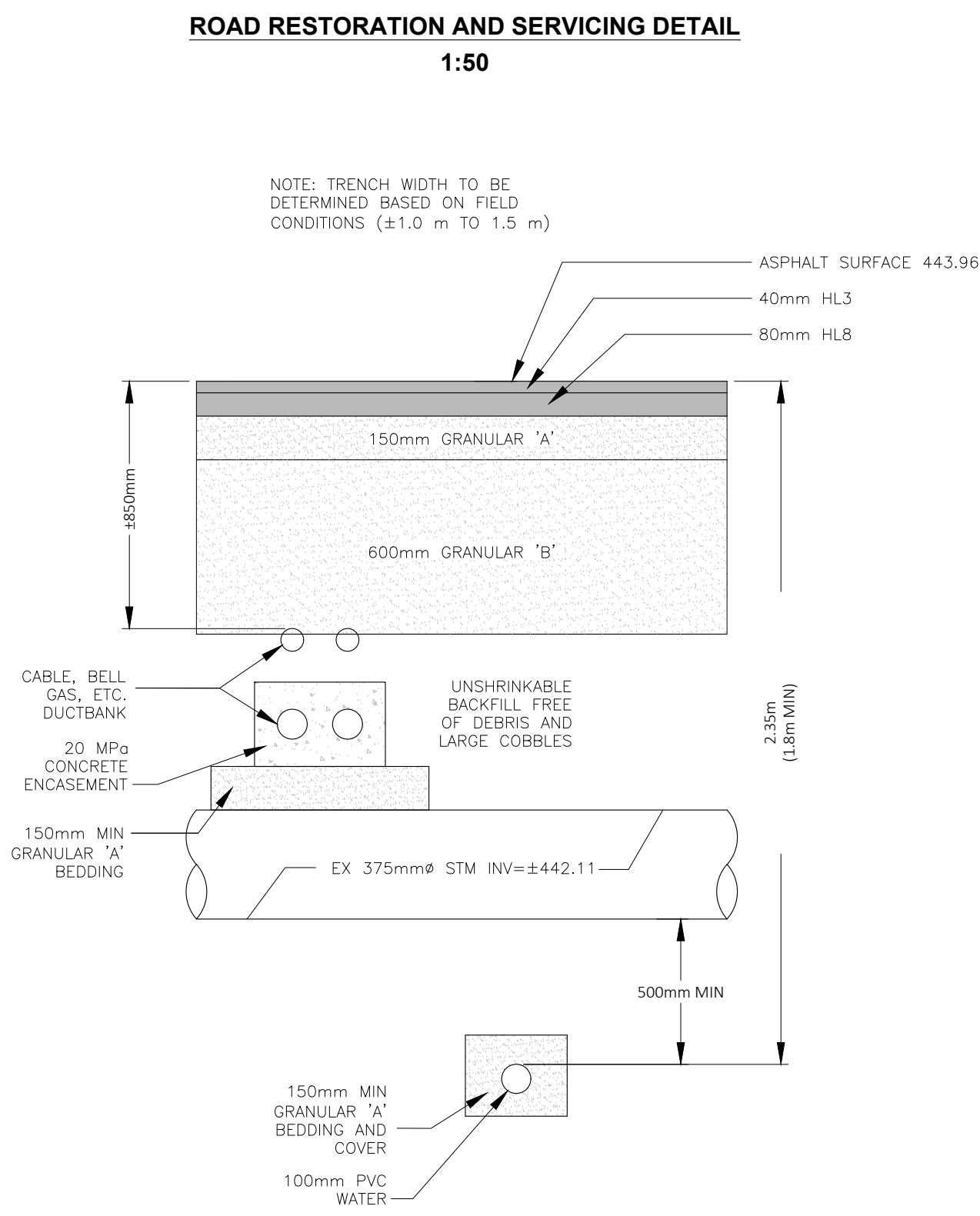
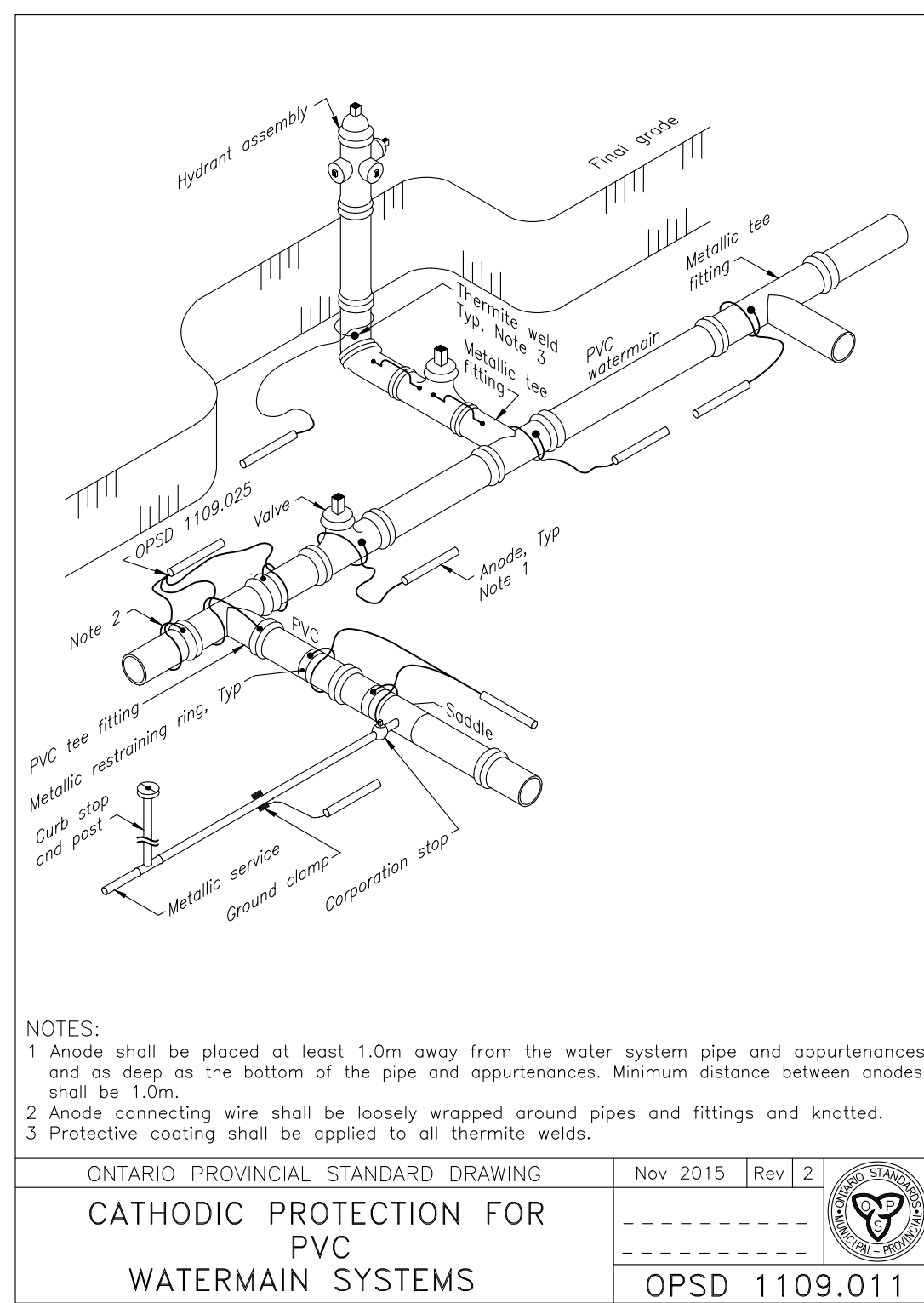
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PROJECT No. 23309-15  
 DRAWING SCALE 1 : 250

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**DETAILS AND NOTES 2**

SHEET 5 OF 5

**Professional Engineer Seal:**  
 M.A.M. VAUGHAN  
 100135983  
 OCT 26-18  
 PROVINCE OF ONTARIO

PREPARED FOR:  
 2500149 ONTARIO INC.

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 LAND SURVEYORS and ENGINEERS

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